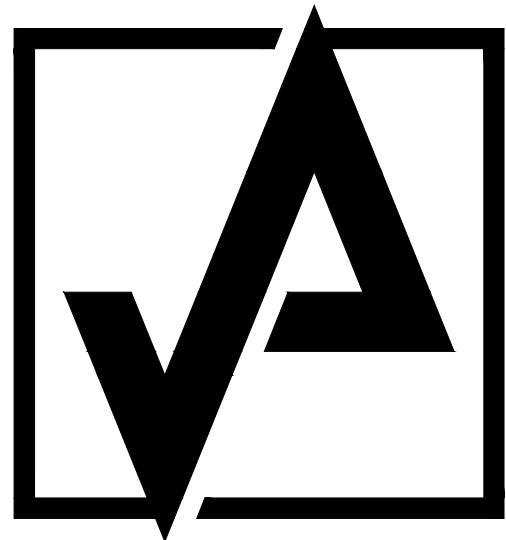


PROJECT DESIGN BY:



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CELL: (401) 374-5171  
EMAIL: delsie.longolucco@doa.ri.gov

S H E P A R D   B L D G  
4 T H   F L O O R   R E N O V A T I O N  
8 0   W A S H I N G T O N   S T R E E T  
P R O V I D E N C E  
R H O D E   I S L A N D  
P R O V I D E N C E   C O U N T Y

D E C E M B E R   1 9 ,   2 0 2 5  
R E V   # 1   -   J A N U A R Y   0 2 , 2 0 2 6  
R E V   # 2   -   J A N U A R Y   2 1 , 2 0 2 6  
R E V   # 3   -   J A N U A R Y   2 7 , 2 0 2 6  
R E V   # 4   -   F E B R U A R Y   0 2 , 2 0 2 6  
F O R   C O N S T R U C T I O N



INDEX OF DRAWINGS

ISSUE DATE	DWG NO	DESCRIPTION	REV 1	REV 2	REV 3	REV 4
12/19/25	CS0.1	CODE INFO, EGRESS & OCCUPANCY DIAGRAMS	X	X		X
12/19/25	D1.1	DEMOLITION FLOOR PLAN		X	X	
12/19/25	A1.1	FLOOR PLAN, DOOR & STOREFRONT SCHEDULE & DETAILS	X	X		X
12/19/25	A1.2	FLOOR FINISH PLAN & DETAILS		X		
12/19/25	A1.3	REFLECTED CEILING PLAN, SCHEDULE & DETAILS	X	X		
12/19/25	A1.4	FURNITURE PLAN & ADA COMPLIANCE		X	X	X
01/02/26	E0.1	ELECTRICAL COVER SHEET	ADDED	X	X	X
01/02/26	E1.1	ELECTRICAL POWER, FIRE ALARM, & SYSTEMS PLAN - DEMOLITION	ADDED	X	X	X
01/02/26	E1.2	ELECTRICAL POWER, FIRE ALARM, & SYSTEMS PLAN - NEW WORK	ADDED	X	X	X
01/02/26	E2.1	ELECTRICAL LIGHTING PLAN - DEMOLITION	ADDED	X	X	
01/02/26	E2.2	ELECTRICAL LIGHTING PLAN - NEW WORK	ADDED	X	X	
01/02/26	E3.1	ELECTRICAL SCHEDULES AND DETAILS	ADDED	X	X	X
01/02/26	E3.2	ELEC DAYLIGHTING ZONING AND LIGHTING CONTROLS SEQUENCES	ADDED	X	X	



CODE ANALYSIS - EXISTING COMMERCIAL BUILDING REMODEL

PROJECT SCOPE: INTERIOR REMODEL OF APPROXIMATELY 1/3 STORY (15215 SF)  
BUILDING STATUS: EXISTING  
GOVERNING CODE: RISBC-13 - RHODE ISLAND STATE REHABILITATION BUILDING AND FIRE CODE FOR EXISTING BUILDINGS AND STRUCTURES  
BASE CODE: 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC), AS AMENDED  
OCCUPANCY: BUSINESS (GROUP B)  
NUMBER OF STORIES: 6  
OCCUPANCY LOAD: 102 OCCUPANTS (BASED ON OCCUPANT LOAD FACTOR OF 150 FOR BUSINESS REQUIRED BY NFPA 101 AND IBC 2018)  
SPRINKLER SYSTEM: FULLY SPRINKLERED THROUGHOUT (NFPA 13)  
CONSTRUCTION TYPE: EXISTING (NO CHANGE PROPOSED)  
ALTERATION LEVEL: LEVEL 2 ALTERATION  
PRIMARY EGRESS STANDARD: RISBC-13 WITH REFERENCED IBC AND NFPA 101 PROVISIONS  
SECONDARY EGRESS STANDARD: RILSC (NFPA 101 - 2018 EDITION)

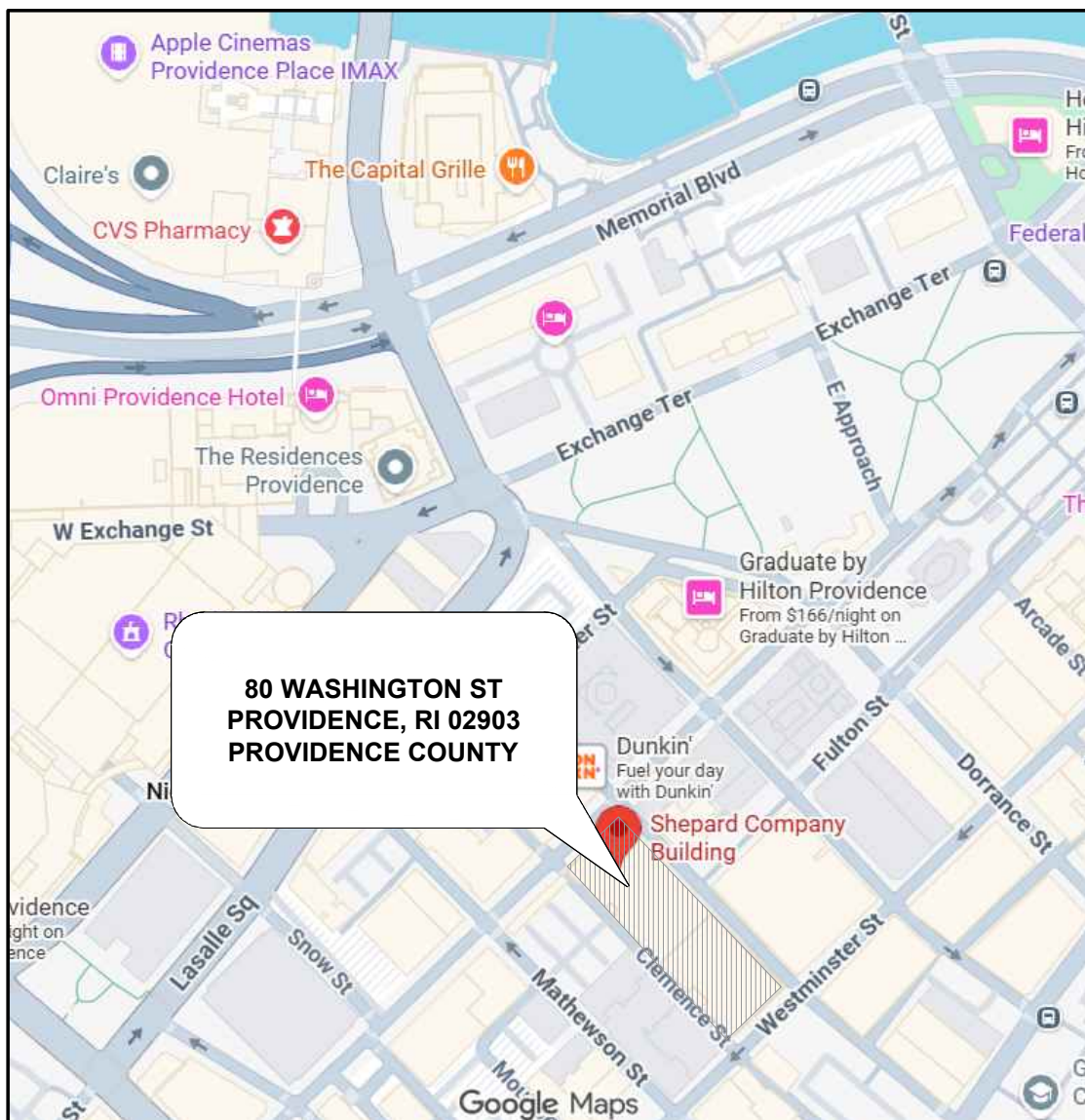
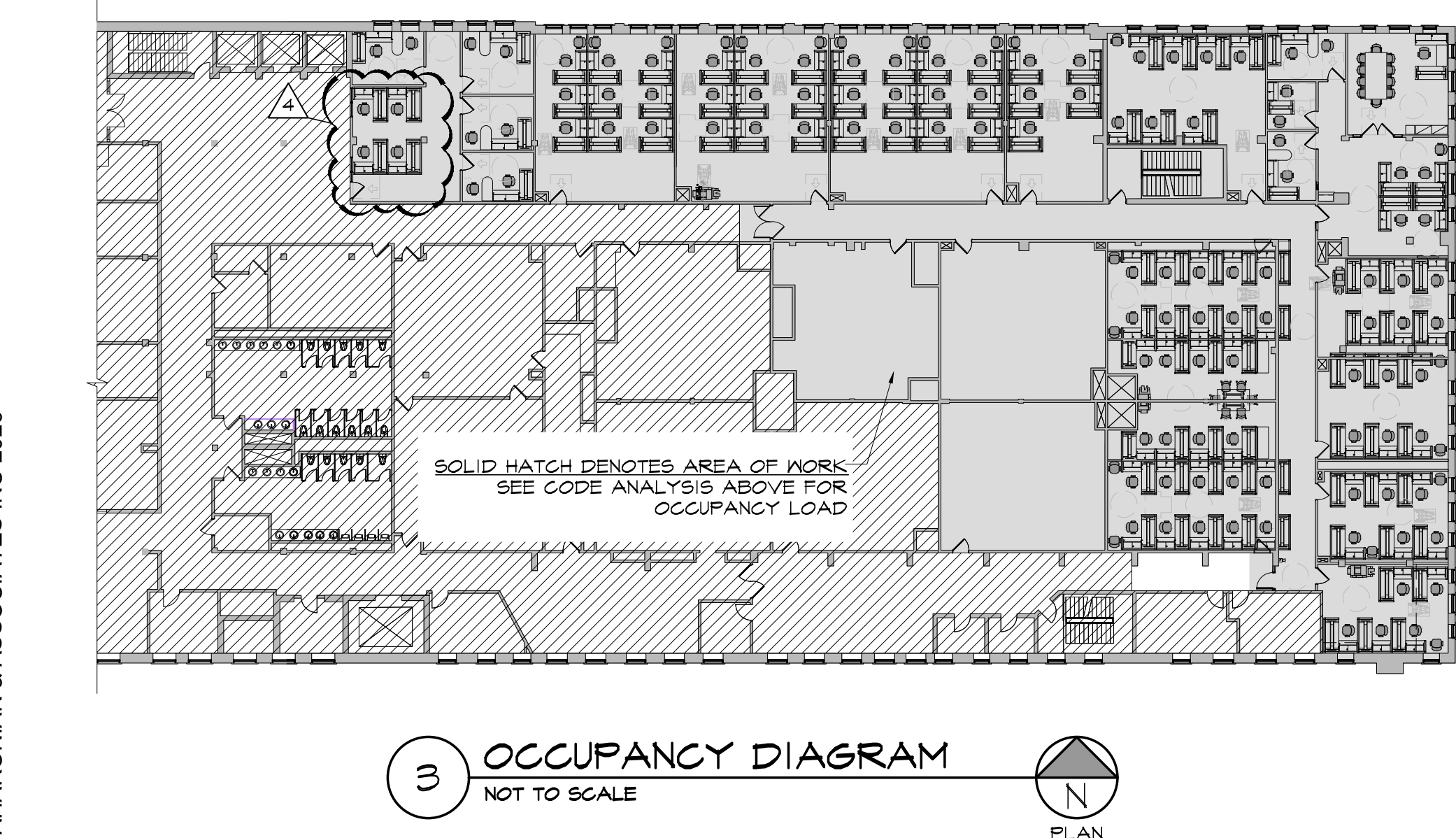
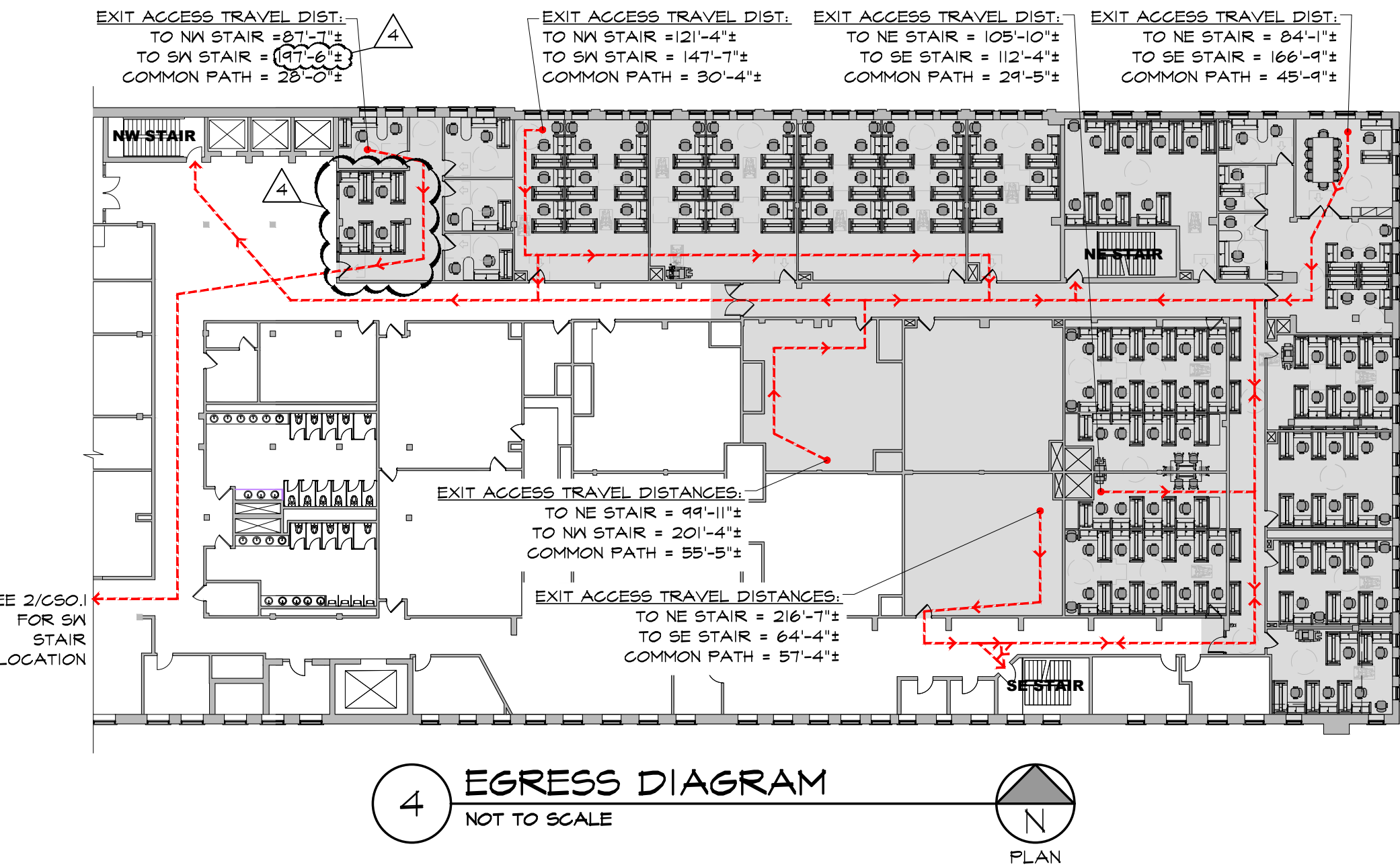
MEANS OF EGRESS - CODE CRITERIA

ITEM	REQUIREMENT	CODE REFERENCE
MAX COMMON PATH OF TRAVEL	100 FT	IBC TABLE 1006.2.1 / NFPA 101 §7.6.1.2
MAX TRAVEL DISTANCE	300 FT	IBC TABLE 101.2 / NFPA 101 §7.6.1.1
NUMBER OF EXITS	MIN. 2 (WHERE OL > 44)	IBC §1006.3.2
EXIT SEPARATION	1/2 DIAGONAL (SPRINKLERED)	IBC §1007.1.1 / NFPA 101 §7.5.1.3
EXIT ACCESS WIDTH	PER OCCUPANT LOAD	IBC §1005
STAIR ENCLOSURES	EXISTING, NO REDUCTION	IBC §1023 / NFPA 101 CH. 7

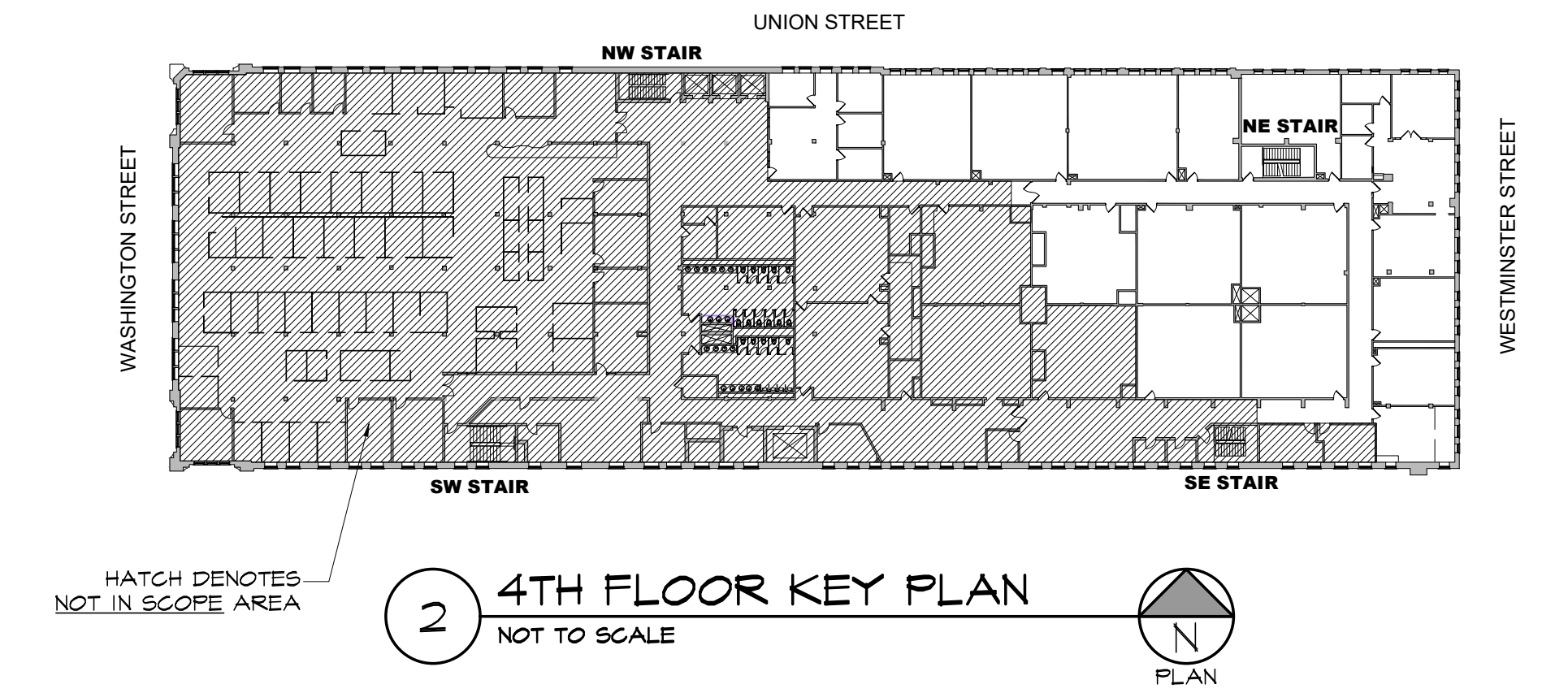
GOVERNING PRINCIPLE: MOST RESTRICTIVE REQUIREMENT APPLIES

EGRESS COMPLIANCE NOTES:

- MEANS OF EGRESS: THIS PROJECT IS AN ALTERATION TO AN EXISTING BUILDING AND IS GOVERNED BY THE RHODE ISLAND STATE REHABILITATION BUILDING AND FIRE CODE FOR EXISTING BUILDINGS AND STRUCTURES (RISBC-13). MEANS OF EGRESS WITHIN THE WORK AREA COMPLIES WITH RISBC-13 AND THE REFERENCED PROVISIONS OF RISBC-1 (2018 IBC, AS AMENDED) AND THE RHODE ISLAND LIFE SAFETY AREA (NFPA 101, 2018 EDITION).
- TRAVEL DISTANCE/COMMON PATH: IN ACCORDANCE WITH IBC TABLES 1006.2.1 AND 101.2, AND NFPA 101 SECTIONS 7.6.1.1 AND 7.6.1.2, EGRESS TRAVEL DISTANCES: MAXIMUM COMMON PATH OF EGRESS TRAVEL DOES NOT EXCEED 100 FEET. MAXIMUM EXIT ACCESS TRAVEL DISTANCE: DOES NOT EXCEED 300 FEET, MEASURED FROM THE MOST REMOTE POINT TO THE ENTRANCE OF AN EXIT.
- EXIT SEPARATION: REQUIRED EXIT SEPARATION IS PROVIDED AT A MINIMUM OF ONE-THIRD (1/3) THE MAXIMUM DIAGONAL DISTANCE OF THE AREA SERVED, AS PERMITTED FOR FULLY SPRINKLERED BUILDINGS, IN ACCORDANCE WITH IBC SECTION 1007.1.1 AND NFPA 101 SECTION 7.5.1.3.
- EXISTING CONDITIONS: EXISTING EXIT STAIRS, ENCLOSURES, AND DISCHARGE COMPONENTS ARE MAINTAINED AND ARE NOT REDUCED OR MADE NONCOMPLIANT BY THIS WORK.



1 LOCUS MAP  
SCALE: NOT TO SCALE



CONTROLLED CONSTRUCTION REQ'D INSPECTIONS

IF THIS OFFICE IS CONTRACTED TO DO CONTROLLED CONSTRUCTION, THE FOLLOWING CONSTRUCTION PROGRESS INSPECTIONS MUST BE PERFORMED BY THE ARCHITECT & ENGINEERS PRIOR TO ISSUING FINAL AFFIDAVITS FOR CERTIFICATION OF OCCUPANCY. GC MUST PROVIDE A SCHEDULE AT THE START OF THE PROJECT & GIVE 48 HOURS NOTICE PRIOR TO REQUIRED INSPECTION.

INSPECTION # - TYPE OF INSPECTION	RESPONSIBLE PARTY
INSPECTION #1 - INSPECT INTERIOR WALL FRAMING AND ELECTRICAL ROUGH-IN PRIOR TO INSULATING	ARCHITECT
INSPECTION #2 - FINAL INSPECTION WITH ALL LIFE SAFETY COMPONENTS INSTALLED	ARCHITECT

CODES, RULES, REGULATIONS

FEDERAL, STATE AND MUNICIPAL LAWS

PROVIDENCE, RHODE ISLAND RULES AND/OR REGULATIONS

RHODE ISLAND REHABILITATION BUILDING AND FIRE FOR EXISTING STRUCTURES - BUILDING REGULATION RISRC-1 (REF: 2018 INTERNATIONAL BUILDING CODE)

ALTERATION LEVEL: 2

RI STATE BUILDING CODE - PLUMBING CODE REGULATION SBC-3 (REF: 2018 INTERNATIONAL PLUMBING CODE)

RI STATE BUILDING CODE - ELECTRICAL CODE REGULATION SBC-5 (REF: 2020 NATIONAL ELECTRICAL CODE)

RI STATE BUILDING CODE - MECHANICAL CODE REGULATION SBC-4 (REF: 2018 INTERNATIONAL MECHANICAL CODE)

RI FIRE SAFETY CODE (REF: 2019 NFPA 1 UNIFORM FIRE CODE & 2018 NFPA 101 LIFE SAFETY CODE)

ANSI 1171-1 2009 W/ RI STATE BUILDING CODE

ANY PREVAILING RULES, REGULATIONS PERTAINING TO ADEQUATE PROTECTION AND/OR GUARDING OF ANY MOVING PARTS OR OTHERWISE HAZARDOUS LOCATIONS.

ALL CONTRACTORS AND SUBCONTRACTORS SHALL COMPLY WITH REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 OR REVISIONS THERETO, WHICH ARE APPLICABLE DURING THE TERM OF THIS CONTRACT AND HOLD THE OWNER AND/OR HIS/HER AGENTS HARMLESS FROM ANY CLAIM OR LOSS THAT MAY RESULT FROM VIOLATIONS OF OR CLAIMS UNDER THIS ACT.

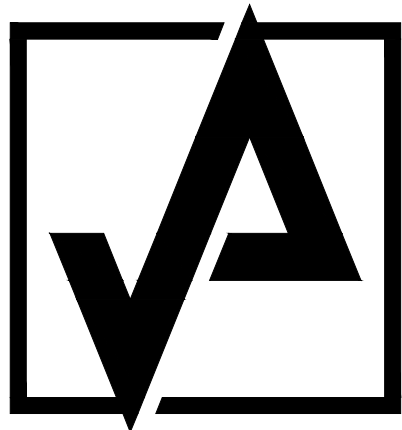
THE PROPOSED RENOVATIONS TO A PORTION OF THE 4TH FLOOR DO NOT ALTER OR REDUCE THE BUILDING'S COMPLIANCE WITH ANY APPLICABLE BUILDING CODE. THE BUILDING'S BASIC CHARACTERISTICS, INCLUDING OVERALL AREA AND HEIGHT, CONSTRUCTION TYPE, OCCUPANCY CLASSIFICATION AND LOAD, MEANS OF EGRESS, AND FIRE SAFETY, ARE NOT BEING MODIFIED.

ABBREVIATIONS INDEX

&	AND	MO	MASONRY OPENING
@	AT	MTD	MOUNTED
A/C	AIR CONDITIONING	NIC	NOT IN CONTRACT
AF	ABOVE FLOOR	NO	NUMBER
ALUM	ALUMINUM	NOM	NOMINAL
ALT	ALTERNATIVE	NTS	NOT TO SCALE
APPROX	APPROXIMATE	OA	OVERALL
BD	BOARD	OC	ON CENTER
BG	BELOW GRADE	OCH	ON CENTER HORIZONTALLY
BLDG	BUILDING	OCV	ON CENTER VERTICALLY
BM	BEAM	OD	OUTER DIAMETER
BSMT	BASEMENT	OPNG	OPENING
BTWN	BETWEEN	OPT	OPTIONAL
BOT	BOTTOM	PL	PLATE
CIL	CENTER LINE	PLAM	PLASTIC LAMINATE
CLG	CERAMIC TILE	PLUMB	PLUMBING
CLO	CLOSET	PLYWD	PLYWOOD
CM	CONSTRUCTION MGR	PR	PAIR
CMU	CONCRETE MASONRY UNIT	PROP	PROPERTY
COL	COLUMN	PSF	PER SQUARE FOOT
CONC	CONCRETE	PSI	PER SQUARE INCH
CONT	CONTINUOUS	PT	PRESSURE TREATED
CONSTR	CONSTRUCTION	PTD	PAINTED
DEPT	DEPARTMENT	PVC	POLYVINYL CHLORIDE
DTL	DETAIL	QT	QUARRY TILE
DIAØ	DIA	QTY	QUANTITY
DIM	DIMENSION	RAD	RADIUS
DISP	DISPENSER	REF	REFRIGERATOR
DN	DOWN	REIN	REINFORCING
DR	DOOR	REV	REVISION
DS	DOWNSPOUT	REQ'D	REQUIRED
DWG	DRAWING	REQTS	REQUIREMENTS
EA	EACH	RES	RESILIENT
EL	ELEVATION	RM	ROOM
ELEC	ELECTRICAL	RO	ROUGH OPENING
EQ	EQUAL	SCHED	SCHEDULE
EQUIP	EQUIPMENT	SEC	SECTION
ETR	EXISTING TO REMAIN	SF	SQUARE FOOT
EXIST	EXISTING	SHT	SHEET
EXT	EXTERIOR	SIM	SIMILAR
FCB	FIBER CEMENT BOARD	SPEC	SPECIFICATION
FD	FLOOR DRAIN	SQ	SQUARE
FIN	FINISH	SS	STAINLESS STEEL
FL	FLOOR	STD	STANDARD
FO	FACE OF	STL	STEEL
FR	FIRE RETARDANT	STRUCT	STRUCTURAL
FT	FOOT	SUSP	SUSPENDED
FTB	FLOOR TILE BASE	TBD	TO BE DETERMINED
FURN	FURNITURE	TEL	TELEPHONE
GA	GAUGE	THK	THICK
GALV	GALVANIZED	THRU	THROUGH
GYP BD	GYP SUM BOARD	TOP	TOP OF PLATE
HDWD	HARDWARE	TOS	TOP OF STEEL
HDR	HEADER	TOSL	TOP OF SLAB
HM	HOLLOW METAL	TRT	TREATED
HORIZ	HORIZONTAL	TYP	TYPICAL
HST	HEIGHT	UNO	UNLESS NOTED OTHERWISE
ID	INSIDE DIAMETER	VB	VINYL BASE
INSUL	INSULATION	VCT	VINYL COMPOSITE TILE
INT	INTERIOR	VERT	VERTICAL
JT	JOINT	VIF	VERIFY IN FIELD
KIT	KITCHEN	VWC	VINYL WALL COVERING
LAM	LAMINATE	w/	WITH
LAV	LAVATORY	WC	WATER CLOSET
LT	LIGHT	WD	WOOD
MAS	MASONRY	WFS	WATER FILTRATION SYSTEM
MAX	MAXIMUM	w/o	WITHOUT
MECH	MECHANICAL	WP	WATERPROOFING
MTL	METAL	WT	WEIGHT
MANUF	MANUFACTURER	WWF	WELDED WIRE FABRIC
MIN	MINIMUM		
MISC	MISCELLANEOUS		

GRAPHIC SYMBOLS

	INTERIOR ELEVATION NUMBER / SHEET		FRAME / WINDOW TYPE
	SECTION OR DETAIL KEY NUMBER/SHEET		EQUIPMENT TAG
	DETAIL KEY		PARTITION TYPE
	ROOM NAME		ETR CONSTRUCTION
	FINISH NUMBER		EXIST CONSTRUCTION TO BE REMOVED
	KEYED PLAN NOTE		NEW PARTITION
	DOOR TYPE		AREA NOT IN SCOPE



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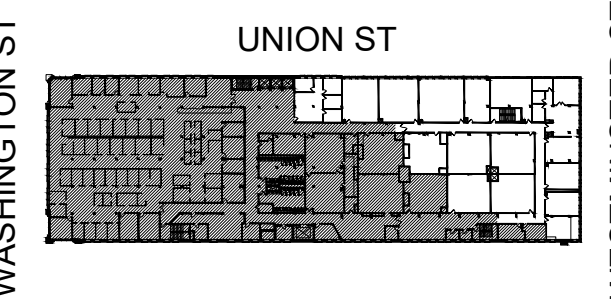
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FOR CONSTRUCTION

REVISIONS:

NUMBER	REMARKS	DATE
1	BCC COMMENTS	01/02/2026
2	OWNER + BCC COMMENTS	01/21/2026
4	OWNER COMMENTS	02/02/2026



KEYPLAN

PROJECT TITLE:

SHEPARD BUILDING  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

DRAWING TITLE:

CODE INFO, EGRESS  
& OCCUPANCY  
DIAGRAMS

DATE:	PROJ NO:
JAN XX, 2026	25175
DRAWN BY:	CHECKED BY:
AL	DH

DRAWING NUMBER:

CS0.1



GENERAL DEMOLITION NOTES

PROTECTION

- 1) ALL RULES & REGULATIONS GOVERNING THE RESPECTIVE UTILITIES SHALL BE OBSERVED IN EXECUTING ALL WORK UNDER THIS SECTION. ALL WORK SHALL BE EXECUTED IN SUCH A MANNER AS TO PREVENT ANY DAMAGE TO THE EXISTING BUILDING, SERVICE UTILITY LINES & STRUCTURES.
- 2) THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGES TO THE EXISTING BUILDING AS WELL AS ADJOINING PRIVATE SPACES & PROPERTY CAUSED BY HIS SUBCONTRACTOR'S EQUIPMENT & PERSONNEL.
- 3) PERFORM THE WORK IN SUCH A MANNER AS TO CAUSE NO INTERFERENCE W/ ACCESS BY THIS SUBCONTRACTOR OR OTHER CONTRACTORS TO ALL PORTIONS OF THE BUILDING AS NECESSARY FOR THE NORMAL CONDUCT OF THEIR WORK.
- 4) THE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL ITEMS SCHEDULED TO REMAIN HAVE BEEN ADEQUATELY PROTECTED. TAKE ALL POSSIBLE PRECAUTIONS TO AVOID DAMAGING THOSE ITEMS WHICH HAVE BEEN SPECIFIED BY THE OWNER TO BE SALVAGED AND/OR STOCKPILED.

PREPARATION

- 1) NOTIFY ALL CORPORATIONS, COMPANIES, INDIVIDUALS OR LOCAL AUTHORITIES OWNING, OR HAVING JURISDICTION OVER UTILITIES RUNNING TO, THROUGH OR ACROSS AREAS TO BE DISTURBED BY DEMOLITION OPERATIONS.
- 2) HAVE ALL UTILITY SERVICES NOT OTHERWISE DESIGNATED TO BE DISCONNECTED BY THE CONTRACTOR, DISCONNECTED @ SERVICE MAINS BY THE GOVERNING UTILITY INVOLVED, UNLESS OTHERWISE SHOWN ON THE DRAWINGS OR DIRECTED BY THE ARCHITECT.

DEMOLITION

- 1) DEMOLISH DESIGNATED EXISTING FEATURES ABOVE & BELOW FLOOR LEVELS, WITHIN THE CONTRACT LIMIT LINES, AS NOTED TO PREPARE THE BUILDING FOR ALL OTHER WORK AS SPECIFIED OR AS SHOWN ON THE DRAWINGS & AS ORDERED BY THE ARCHITECT.
- 2) COMPLY W/ ALL STATE OF RHODE ISLAND DEPARTMENT OF HEALTH STANDARDS DURING DEMOLITION OPERATIONS.
- 3) REMOVE & SALVAGE MATERIAL REQ'D FOR LATER REUSE AS SHOWN ON THE DRAWINGS & AS DIRECTED BY THE ARCHITECT.

- 4) REMOVE & DISPOSE OF ALL UNSUITABLE MATERIAL OFF SITE. THE OWNER SHALL HAVE RIGHT OF FIRST REFUSAL FOR ALL MATERIALS. REMOVE ANY STOCKPILED MATERIAL DEEMED SURPLUS BY THE ARCHITECT @ NO ADDITIONAL COST TO THE OWNER.
- 5) REFER TO KEYED DEMOLITION NOTES & THE DEMOLITION FLOOR PLAN FOR FURTHER CLARIFICATION OF ITEMS SCHEDULED FOR DEMOLITION.

DISPOSAL AND CLEAN UP

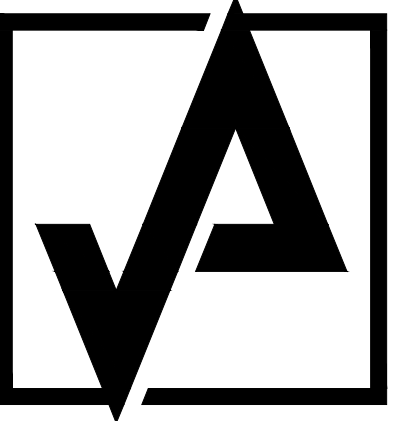
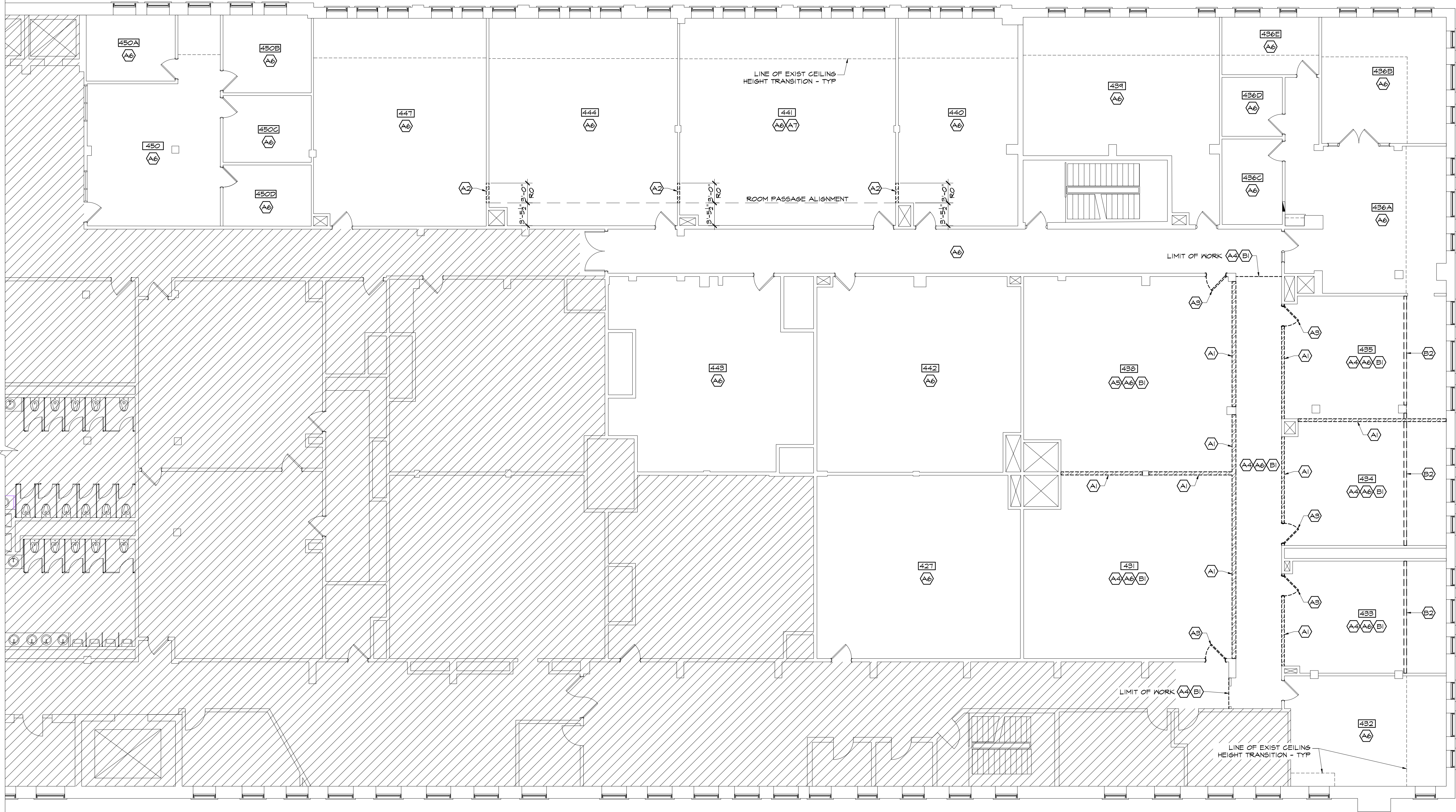
- 1) PROMPTLY REMOVE ANY DEMOLITION DEBRIS OR SIMILAR MATERIAL, KEEPING THE AREA CLEAN @ ALL TIMES.
- 2) DEMOLISHED MATERIAL
  - A) ALL DEMOLISHED MATERIAL DECLARED UNSUITABLE BY THE ARCHITECT SHALL BECOME THE PROPERTY OF THE CONTRACTOR & SHALL BE LEGALLY DISPOSED OF OFF THE PREMISES, UNLESS OTHERWISE INDICATED OR SPECIFIED.
  - B) KEEP ALL EXITS, PUBLIC WAYS AND EGRESS PASSAGEWAYS CLEAR OF ALL DEBRIS @ ALL TIMES.
  - B) PREMISES: LEAVE THE PREMISES IN A SAFE, CLEAN & RELATIVELY ORDERLY CONDITION UPON COMPLETION OF WORK.

FLOOR DEMO NOTES

- A1 REMOVE PARTITION AS INDICATED BY [Z/Z/Z/Z/Z/Z/Z/Z]. REMOVE ALL MECHANICAL, PLUMB & ELEC ITEMS WITHIN (IF EXISTS) & CAP OR ABANDON AS REQ'D.
- A2 CUT 36"x84" OPENINGS INTO PARTITION, PATCH & PAINT WALL TO MATCH EXISTING. REMOVE & SALVAGE WALL MOUNTED EQUIPMENT (IF EXISTS) FOR REINSTALLATION IN NEW LAYOUT IN COORD W/ OWNER.
- A3 REMOVE DOOR, FRAME & ALL RELATED ACCESSORIES.
- A4 REMOVE CARPET FLOOR TILE VINYL + WALL BASE IN THIS AREA.
- A5 REMOVE VGT FLOORING + WALL BASE IN THIS AREA.
- A6 REMOVE & SALVAGE WALL MOUNTED EQUIPMENT AS REQ'D FOR NEW WALL FINISHES.
- A7 REMOVE EXIST ELEC FLOOR BOX (10 UNITS). PATCH SLAB AND FLOOR FINISH TO MATCH EXISTING ADJACENT.

CEILING DEMO NOTES

- B1 REMOVE ENTIRE SUSPENDED CEILING SYSTEM, ALL RECESSED LIGHT FIXTURES, CEILING MOUNTED DEVICES, ESCUTCHEONS, SUPPLY DIFFUSERS & RETURN GRILLES. DO WORK ABOVE CEILING SYSTEM TO REMAIN.
- B2 REMOVE SOFFIT AS REQ'D TO ACCOMMODATE NEW LAYOUT.



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FOR CONSTRUCTION

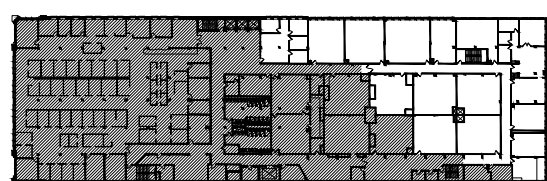
REVISIONS:

NUMBER	REMARKS	DATE
2	OWNER + BCC COMMENTS	01/21/2026
3	OWNER COMMENTS	01/27/2026

WASHINGTON ST

WESTMINSTER ST

UNION ST



KEYPLAN

PROJECT TITLE:

SHEPARD BUILDING  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

DRAWING TITLE:

DEMOLITION  
FLOOR PLAN

DATE:

JAN XX, 2026

PROJ NO:

25175

DRAWN BY:

AL

CHECKED BY:

DH

DRAWING NUMBER:

D1.1

DEMOLITION FLOOR PLAN

SCALE: 1/8" = 1'-0"





## PARTITION TYPES

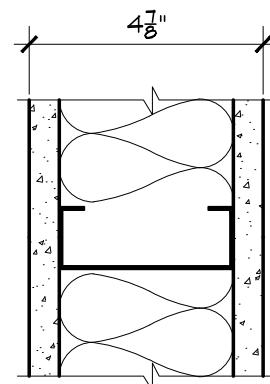
## INTERIOR WALL INSULATION &amp; FIRE BLOCKING

\* ALL INTERIOR PARTITIONS ARE TO BE INSULATED USING UNFACED BATT INSULATION. REFER TO PARTITION TYPE KEYS THROUGHOUT PLANS.

\* UNFACED BATT INSULATION ALSO ACTS AS FIRE BLOCKING WITHIN THE STUD WALLS; SECURE INSULATION WITHIN STUD SPACING.

\* BATT INSULATION SHALL FILL THE ENTIRE DEPTH OF WALL CAVITY. PACK TIGHTLY AROUND PIPING OR CONDUIT WITHIN WALL CAVITY.

\* EXTEND INSULATION 12" ABOVE CEILING LINE.



A

5/8" SUBSTRATE EACH SIDE  
3 5/8"x20 GA METAL STUDS @ 16" OC  
SOUND ATTENUATION BATT INSUL  
SECURE TO STRUCT ABOVE AS  
REQ'D FOR PROPER SUPPORT

## HARDWARE SETS

(ALL HARDWARE SHALL BE ADA COMPLIANT WHETHER OR NOT SPECIFIED HEREIN)

## SET Q-1

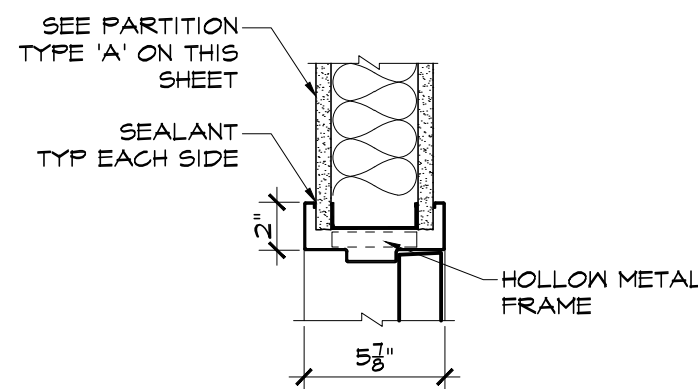
- 2 HINGES
- 1 SPRING HINGE
- 1 LOCK SET
- 1 ELECTRIC STRIKE
- 1 CARD READER
- 1 CLOSER
- 1 FLOOR STOP
- 1 SET SILENCERS

## ELECTRICAL WORK NOTE:

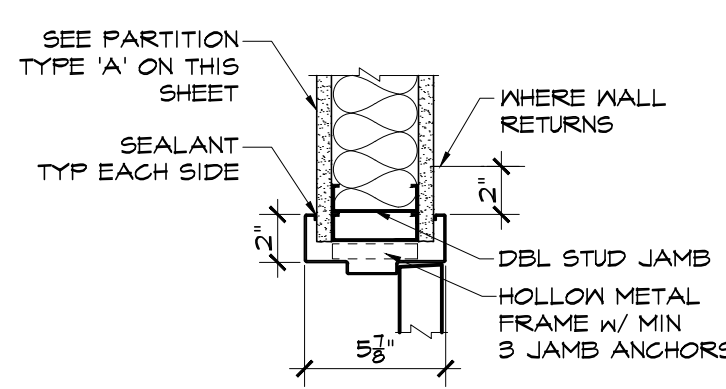
GC SHALL PATCH AND REPAIR ALL AREAS DISTURBED BY ELECTRICAL CUTS OR REMOVAL OF OBSOLETE ITEMS AS REQUIRED TO MATCH THE EXISTING ADJACENT SURFACES.

## DOOR SCHEDULE

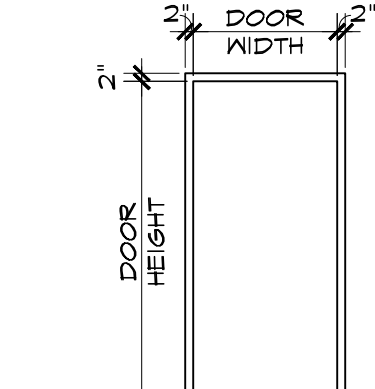
◻ MARK/LOCATION		○ DOOR						◻ FRAME						HDW	REMARKS
No	ROOM (FROM / TO)	TYPE	WIDTH	HEIGHT	THICK	MAT	FINISH	HEAD DTL	JAMB DTL	SILL DTL	TYPE	MAT	FINISH	SET	
101	SUITE 435 / S. HALLWAY	DI	3'-0"	7'-0"	1 3/4"	WOOD	PAINT	2/A1	2/A1	-	FI	HM	PAINT	O-1	DOOR & FRAME COLOR PAINT TO MATCH EXIST GREEN



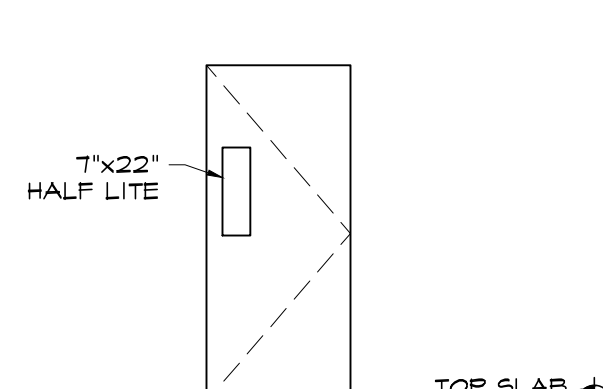
3 HM HEAD DTL  
SCALE: 1 1/2" = 1'-0"



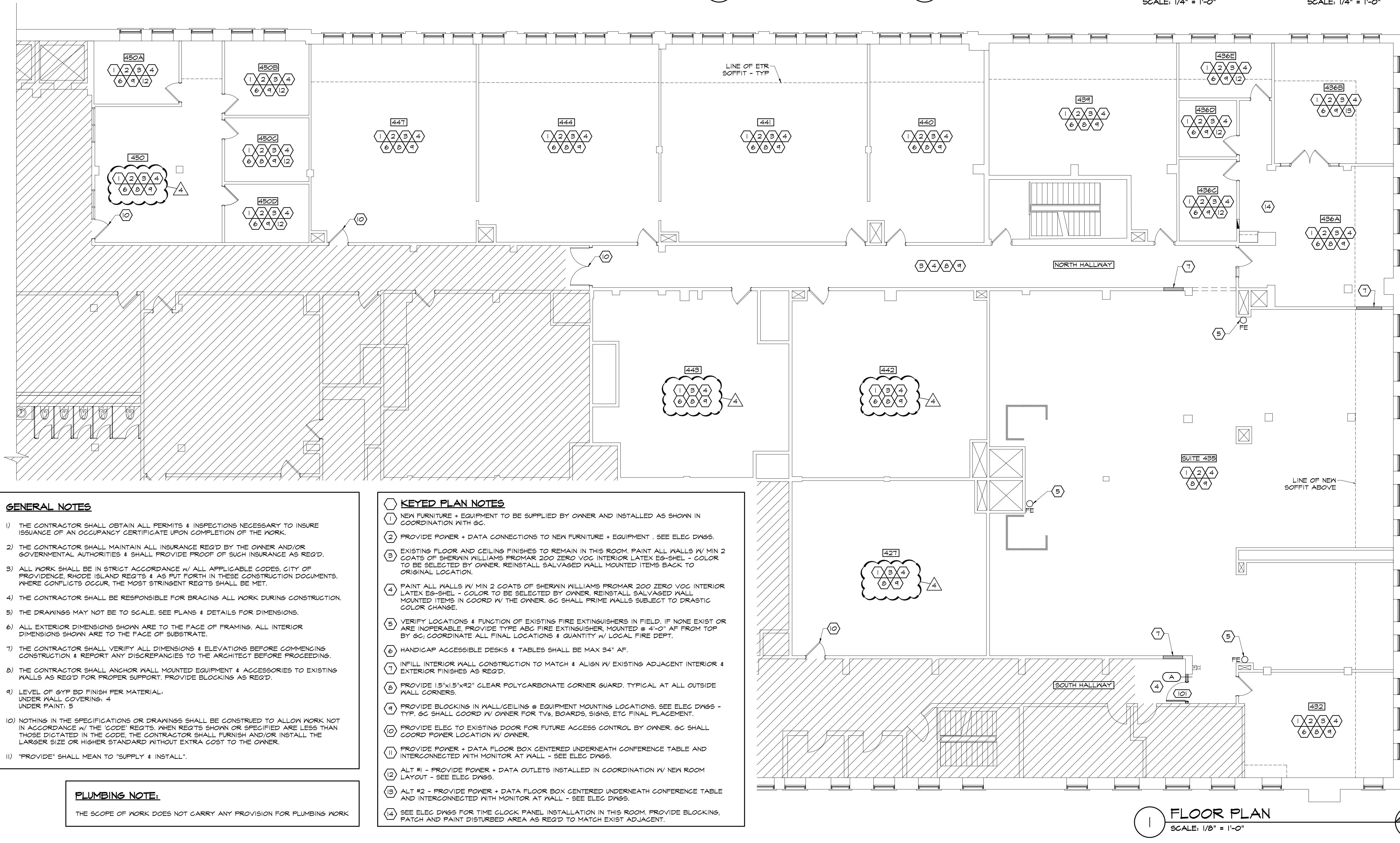
2 HM JAMB DTL  
SCALE: 1 1/2" = 1'-0"



FRAME TYPE  
SCALE: 1/4" = 1'-0"



DOOR TYPE  
SCALE: 1/4" = 1'-0"



## GENERAL NOTES

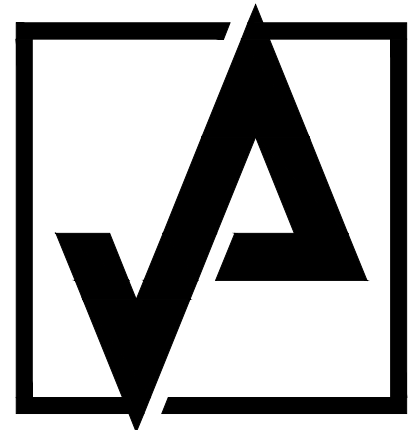
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS & INSPECTIONS NECESSARY TO INSURE ISSUANCE OF AN OCCUPANCY CERTIFICATE UPON COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL MAINTAIN ALL INSURANCE REQ'D BY THE OWNER AND/OR GOVERNMENTAL AUTHORITIES & SHALL PROVIDE PROOF OF SUCH INSURANCE AS REQ'D.
- ALL WORK SHALL BE IN STRICT ACCORDANCE W/ ALL APPLICABLE CODES, CITY OF PROVIDENCE, RHODE ISLAND REQ'TS & AS PUT FORTH IN THESE CONSTRUCTION DOCUMENTS. WHERE CONFLICTS OCCUR, THE MOST STRINGENT REQ'TS SHALL BE MET.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING ALL WORK DURING CONSTRUCTION.
- THE DRAWINGS MAY NOT BE TO SCALE. SEE PLANS & DETAILS FOR DIMENSIONS.
- ALL EXTERIOR DIMENSIONS SHOWN ARE TO THE FACE OF FRAMING. ALL INTERIOR DIMENSIONS SHOWN ARE TO THE FACE OF SUBSTRATE.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & ELEVATIONS BEFORE COMMENCING CONSTRUCTION & REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING.
- THE CONTRACTOR SHALL ANCHOR WALL MOUNTED EQUIPMENT & ACCESSORIES TO EXISTING WALLS AS REQ'D FOR PROPER SUPPORT. PROVIDE BLOCKING AS REQ'D.
- LEVEL OF GYP BD FINISH PER MATERIAL:  
UNDER WALL COVERING: 4  
UNDER PAINT: 5
- NOTHING IN THE SPECIFICATIONS OR DRAWINGS SHALL BE CONSTRUED TO ALLOW WORK NOT IN ACCORDANCE W/ THE CODE REQ'TS. WHEN REQ'TS SHOWN OR SPECIFIED ARE LESS THAN THOSE DICTATED IN THE CODE, THE CONTRACTOR SHALL FURNISH AND/OR INSTALL THE LARGER SIZE OR HIGHER STANDARD WITHOUT EXTRA COST TO THE OWNER.
- "PROVIDE" SHALL MEAN TO "SUPPLY & INSTALL".

## PLUMBING NOTE:

THE SCOPE OF WORK DOES NOT CARRY ANY PROVISION FOR PLUMBING WORK.

## KEYED PLAN NOTES

- NEW FURNITURE & EQUIPMENT TO BE SUPPLIED BY OWNER AND INSTALLED AS SHOWN IN COORDINATION WITH GC.
- PROVIDE POWER & DATA CONNECTIONS TO NEW FURNITURE & EQUIPMENT. SEE ELEC DWGS.
- EXISTING FLOOR AND CEILING FINISHES TO REMAIN IN THIS ROOM. PAINT ALL WALLS W/ MIN 2 COATS OF SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL - COLOR TO BE SELECTED BY OWNER. REINSTALL SALVAGED WALL MOUNTED ITEMS BACK TO ORIGINAL LOCATION.
- PAINT ALL WALLS W/ MIN 2 COATS OF SHERWIN WILLIAMS PROMAR 200 ZERO VOC INTERIOR LATEX EG-SHEL - COLOR TO BE SELECTED BY OWNER. REINSTALL SALVAGED WALL MOUNTED ITEMS IN COORD W/ THE OWNER. GC SHALL PRIME WALLS SUBJECT TO DRASTIC COLOR CHANGE.
- VERIFY LOCATIONS & FUNCTION OF EXISTING FIRE EXTINGUISHERS IN FIELD. IF NONE EXIST OR ARE INOPERABLE, PROVIDE TYPE ABC FIRE EXTINGUISHER, MOUNTED @ 4'-0" AF FROM TOP BY GC; COORDINATE ALL FINAL LOCATIONS & QUANTITY W/ LOCAL FIRE DEPT.
- HANDICAP ACCESSIBLE DESKS & TABLES SHALL BE MAX 34" AF.
- INFILL INTERIOR WALL CONSTRUCTION TO MATCH & ALIGN W/ EXISTING ADJACENT INTERIOR & EXTERIOR FINISHES AS REQ'D.
- PROVIDE 1.5"x1.5"x42" CLEAR POLYCARBONATE CORNER GUARD. TYPICAL AT ALL OUTSIDE WALL CORNERS.
- PROVIDE BLOCKING IN WALL/CEILING @ EQUIPMENT MOUNTING LOCATIONS. SEE ELEC DWGS - TYP. GC SHALL COORD W/ OWNER FOR TVs, BOARDS, SIGNS, ETC FINAL PLACEMENT.
- PROVIDE ELEC TO EXISTING DOOR FOR FUTURE ACCESS CONTROL BY OWNER. GC SHALL COORD POWER LOCATION W/ OWNER.
- PROVIDE POWER & DATA FLOOR BOX CENTERED UNDERNEATH CONFERENCE TABLE AND INTERCONNECTED WITH MONITOR AT WALL - SEE ELEC DWGS.
- ALT #1 - PROVIDE POWER & DATA OUTLETS INSTALLED IN COORDINATION W/ NEW ROOM LAYOUT - SEE ELEC DWGS.
- ALT #2 - PROVIDE POWER & DATA FLOOR BOX CENTERED UNDERNEATH CONFERENCE TABLE AND INTERCONNECTED WITH MONITOR AT WALL - SEE ELEC DWGS.
- SEE ELEC DWGS FOR TIME CLOCK PANEL INSTALLATION IN THIS ROOM. PROVIDE BLOCKING, PATCH AND PAINT DISTURBED AREA AS REQ'D TO MATCH EXIST ADJACENT.



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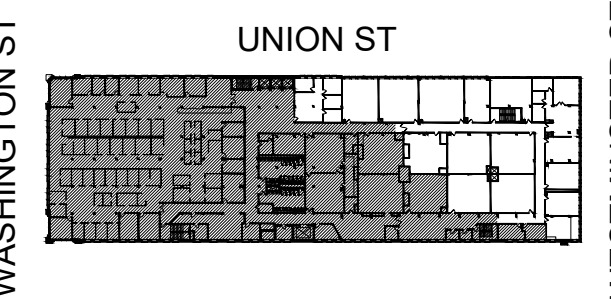
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## FOR CONSTRUCTION

## REVISIONS:

NUMBER	REMARKS	DATE
1	BCC COMMENTS	01/02/2026
2	OWNER + BCC COMMENTS	01/21/2026
4	OWNER COMMENTS	02/02/2026

WASHINGTON ST



UNION ST

WESTMINSTER ST

KEYPLAN

## PROJECT TITLE:

SHEPARD BUILDING  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

## DRAWING TITLE:

FLOOR PLAN, DOOR &  
STOREFRONT  
SCHEDULE & DETAILS

## DATE:

JAN XX, 2026

## PROJ NO:

25175

## DRAWN BY:

AL

## CHECKED BY:

DH

## DRAWING NUMBER:

A1.1



FLOOR FINISH SCHEDULE (SEE PROJECT MANUAL FOR ADDITIONAL INFORMATION)			
CODE	MATERIAL	MANUFACTURER	DESCRIPTION/REMARKS
CPT-01	CARPET TILE	FORBO	BASIS OF DESIGN: 19.6" x 19.6" FLOTEX COLOUR COLLECTION - COLOR TO BE SELECTED BY OWNER
CPT-02	CARPET TILE	MATCH EXISTING	MATCH EXISTING CARPET AT ROOM #450
VB-01	VINYL WALL BASE	JOHNSONITE	4" TRADITIONAL VINYL 1/8" - COLOR TO BE SELECTED BY OWNER
VB-02	VINYL WALL BASE	MATCH EXISTING	MATCH EXISTING VINYL BASE AT ROOM #450

LEGEND	
<div>FT-XX</div> <div>FTB-XX</div>	FLOOR FINISH MATERIAL WALL BASE MATERIAL
-----	VINYL WALL BASE
<div><div></div><div></div><div></div><div></div><div></div><div></div></div>	CPT-01
<div><div></div><div></div><div></div><div></div><div></div><div></div></div>	CPT-02

KEYED PLAN NOTES	
1	EXISTING CARPET TILE + VINYL WALL BASE TO REMAIN IN THIS ROOM.
2	INSTALL CARPET TILE AS SHOWN, BASIS OF DESIGN: FLOTEX COLOUR - COLOR TO BE SELECTED BY OWNER.
3	INSTALL CARPET TILE TO MATCH + ALIGN WITH ROOM #450 EXIST CARPET.
4	PATCH EXIST CARPET AND/OR WALL BASE AS REQUIRED TO ACCOMMODATE NEW LAYOUT.
5	TILE WORK POINT.
6	PROVIDE ALUM TRANSITION STRIP AT CARPET TILES TRANSITION.
7	IF REQUIRED, PATCH EXIST CARPET TILE DAMAGED DURING CONSTRUCTION WORK.



1 FLOOR FINISH PLAN

SCALE: 1/8" = 1'-0"

N  
PLAN

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FOR CONSTRUCTION		
REVISIONS:		
<div>△</div>		
NUMBER	REMARKS	DATE
2	OWNER + BCC COMMENTS	01/21/2026

WASHINGTON ST

UNION ST

WESTMINSTER ST

KEYPLAN

PROJECT TITLE:

**SHEPARD BUILDING**

4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

DRAWING TITLE:

**FLOOR FINISH  
PLAN & DETAILS**

DATE:	PROJ NO:
JAN XX, 2026	25175
DRAWN BY:	CHECKED BY:
AL	DH
DRAWING NUMBER:	

A1.2



### CONSTRUCTION SAFETY & IMPAIRMENTS (NFPA 241)

- GC SHALL MAINTAIN A WRITTEN FIRE SAFETY PLAN ON-SITE DURING CONSTRUCTION.
- ANY TEMPORARY SHUTDOWN OF THE FLOOR'S FIRE PROTECTION SHALL FOLLOW THE BUILDING'S IMPAIRMENT COORDINATOR PROTOCOLS.
- EXISTING SYSTEMS SHALL REMAIN ACTIVE ON THE NON-REMODEL HALF-FLOOR.
- TEMPORARY FIRE EXTINGUISHERS ABC TYPE SHALL BE PROVIDED EVERY 75 FEET OF TRAVEL DISTANCE IN THE CONSTRUCTION AREA.
- VERIFY & MAINTAIN PROPER FUNCTION OF FIRE SUPPRESSION SYSTEM DURING CONSTRUCTION.

### FIRE ALARM SYSTEM NOTES

- NEW ADDRESSABLE INITIATION DEVICES (SMOKE/HEAT) AND NOTIFICATION APPLIANCES (STROBES/HORNS) SHALL BE INTEGRATED INTO THE EXISTING BUILDING FIRE ALARM CONTROL PANEL (FACP) AS REQUIRED TO ACCOMMODATE THE NEW LAYOUT.
- VISUAL APPLIANCES (STROBES) SHALL BE PLACED TO MEET 2026 ADA AND NFPA 72 INTENSITY REQUIREMENTS FOR THE REVISED ROOM CONFIGURATIONS.
- THE DESIGN-BUILD CONTRACTOR SHALL CONDUCT A 100% FUNCTIONAL TEST OF ALL NEW/RELOCATED DEVICES.
- A WITNESS TEST SHALL BE SCHEDULED WITH THE FIRE MARSHAL TO VERIFY THE PROPER SIGNAL TRANSMISSION TO THE MAIN FACP AND THE CORRECT AUDIBILITY AND VISIBILITY OF NOTIFICATION APPLIANCES IN THE NEW LAYOUT.
- THE SEQUENCE OF OPERATIONS SHALL INCLUDE NOTIFYING PROVIDENCE PD BY CENTRAL STATION. PROVIDENCE FIRE USES A GEMEXELL MASTER BOX.

### FIRE SUPPRESSION SYSTEM NOTES

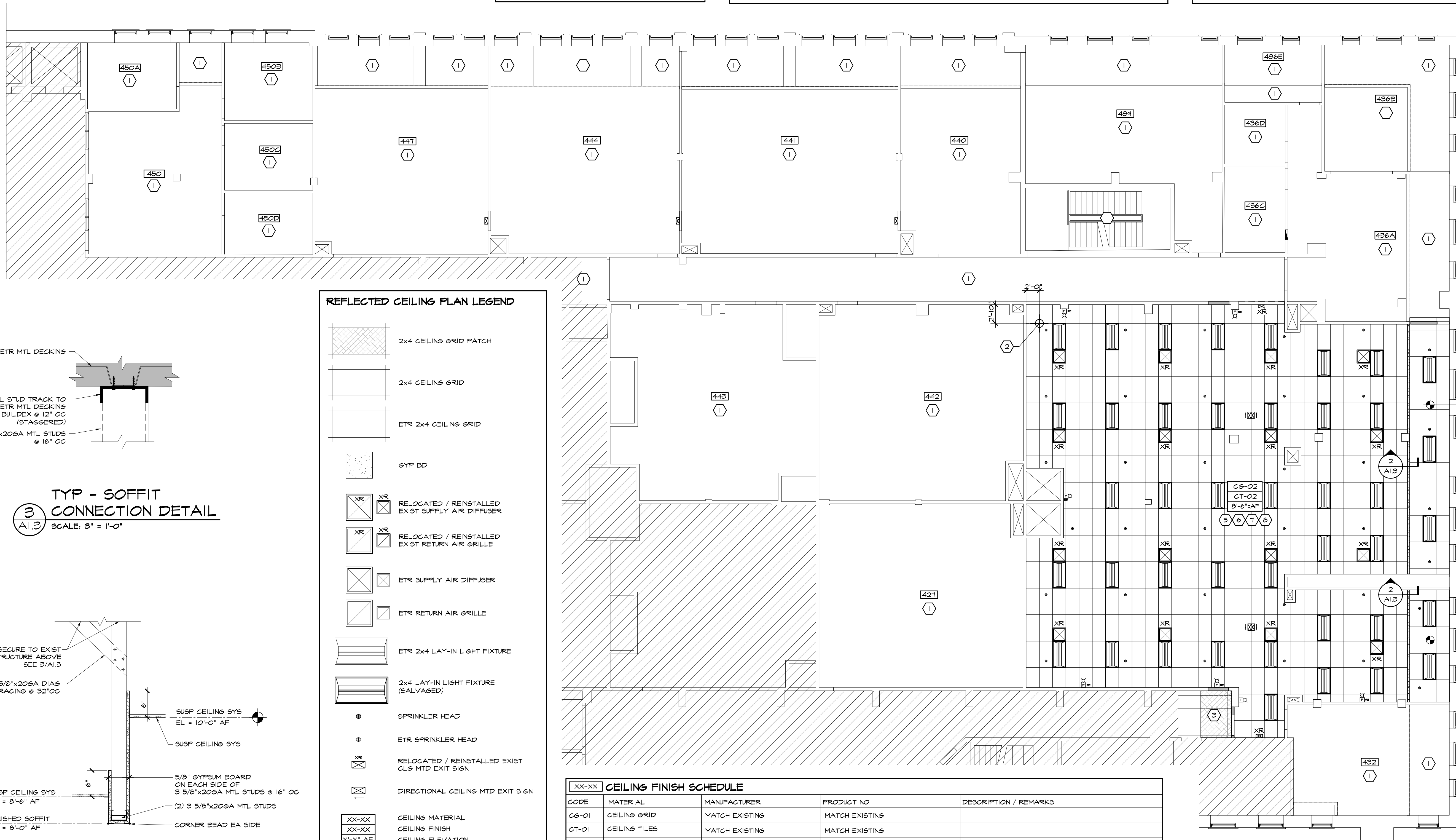
- EXISTING WET-PIPE SYSTEM SHALL BE PARTIALLY MODIFIED ON THE 4TH FLOOR AS REQ'D TO ACCOMMODATE NEW LAYOUT.
- SPRINKLER HEADS SHALL BE RELOCATED OR ADDED TO ENSURE 100% COVERAGE OF THE NEW LAYOUT.
- ANY NEW SPRINKLER HEADS SHALL BE COMPATIBLE WITH THE EXISTING SYSTEM.
- DESIGN CRITERIA: LIGHT HAZARD, 0.10 GPM/SQ. FT. OVER 1,500 SQ. FT.
- THE ACTIVATION OF A SPRINKLER FLOW SWITCH SHALL TRIGGER GENERAL BUILDING ALARM AND NOTIFICATION TO CENTRAL STATION.
- THE ACTIVATION OF ANY NEW SMOKE DETECTOR SHALL INITIATE FLOOR-SPECIFIC NOTIFICATION, RECALL ELEVATORS TO THE PRIMARY LEVEL, AND SHUT DOWN LOCAL HVAC UNITS.
- A WITNESS TEST SHALL BE SCHEDULED WITH THE FIRE MARSHAL TO VERIFY THE HYDROSTATIC TESTING (200 PSI FOR 2 HOURS) FOR ANY NEW SPRINKLER PIPING.

### HVAC SYSTEM NOTES

- ALL WORK ASSOCIATED WITH THIS SCOPE SHALL BE PROVIDED ON A DESIGN/BUILD BASIS AND SHALL BE INCLUDED ON THE BASE BID.
- THIS PROJECT SHALL BE DESIGNED IN ACCORDANCE WITH THE RHODE ISLAND MECHANICAL CODE (SBC-4), RHODE ISLAND ENERGY CONSERVATION CODE (SBC-8), AND ASHRAE 62.1 FOR VENTILATION.
- THE EXISTING HVAC DISTRIBUTION SYSTEM SHALL BE MODIFIED TO ACCOMMODATE THE NEW ARCHITECTURAL LAYOUT. WORK SHALL INCLUDE, BUT NOT BE LIMITED TO RECONFIGURING AIR DISTRIBUTION, REVISING ZONE BOUNDARIES, EXTENDING OR REROUTING DUCTWORK, ADDING OR REMOVING TERMINAL UNITS, AND UPDATING ASSOCIATED CONTROLS.
- THE MODIFICATION SHALL ENSURE THAT EVERY NEW ROOM/ZONE CREATED BY THE REMODEL RECEIVES ADEQUATE AIR SUPPLY, RETURN AIR, AND OUTDOOR VENTILATION AIR PER CODE-REQUIRED OCCUPANCY COUNTS.
- GC SHALL PROVIDE COMPLETE AIR AND HYDRONIC BALANCING FOR ALL MODIFIED EQUIPMENT AND SYSTEMS. FINAL AIRFLOW AND WATER FLOW RATES SHALL COMPLY WITH DESIGN INTENT AND EQUIPMENT MANUFACTURER RECOMMENDATIONS. PROVIDE CERTIFIED TAB REPORT AT PROJECT CLOSEOUT.
- GC SHALL REVISE CONTROL SEQUENCES, POINTS, AND WIRING AS NEEDED TO ENSURE PROPER OPERATION OF ALL MODIFIED ZONES. COORDINATE WITH THE EXISTING BMS, IF IT EXISTS. PROVIDE UPDATED CONTROL DIAGRAMS AND PROGRAMMING ADJUSTMENTS.
- GC SHALL FIELD-VERIFY ALL EXISTING CONDITIONS BEFORE BEGINNING WORK. ANY DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS SHALL BE REPORTED TO THE ARCHITECT PRIOR TO INSTALLATION. COORDINATE WITH OTHER TRADES TO AVOID CONFLICTS.
- ALL WORK SHALL COMPLY WITH APPLICABLE CODES, MANUFACTURER REQUIREMENTS, AND INDUSTRY STANDARDS. PROVIDE ALL NECESSARY ACCESSORIES, SUPPORTS, AND MATERIALS TO DELIVER A COMPLETE AND OPERATIONAL SYSTEM.

### KEYED PLAN NOTES

- EXISTING CEILING TO REMAIN. GC SHALL REPAIR / REPLACE ALL DAMAGED CEILING TILES & CEILING GRID AS REQ'D. CONSULT W/ OWNER FOR EXTENT OF WORK PRIOR TO START OF CONSTRUCTION.
- CEILING GRID WORK POINT.
- PATCH PORTION OF SUSPENDED CEILING SYSTEM TO MATCH & ALIGN W/ EXIST ADJACENT.
- INSTALL SUSPENDED CEILING SYSTEM TO MATCH, ALIGN AND LEVEL WITH ADJACENT ROOM #450 ETR CEILING. CONNECT LIGHT FIXTURES TO ROOM #450 LIGHTING CIRCUIT/CONTROL.
- REINSTALL ALL SALVAGED FIRE ALARM DEVICES (WALL AND/OR CEILING MTD) PER ELECTRICAL DNGS.
- REINSTALL ALL SALVAGED SURVEILLANCE CAMERAS (WALL AND/OR CEILING MTD) AS REQ'D TO ACCOMMODATE NEW LAYOUT. COORD FINAL PLACEMENT IN FIELD W/ OWNER.
- REINSTALL SALVAGED SUPPLY DIFFUSERS AS SHOWN. SEE HVAC SYSTEM NOTES ON THIS SHEET.
- INSTALL SALVAGED LIGHT FIXTURES IN THE NEW LAYOUT, AS SHOWN. IF THE NUMBER OF AVAILABLE LIGHT FIXTURES IS INSUFFICIENT, GC SHALL PROVIDE NEW FIXTURES TO MATCH EXISTING.



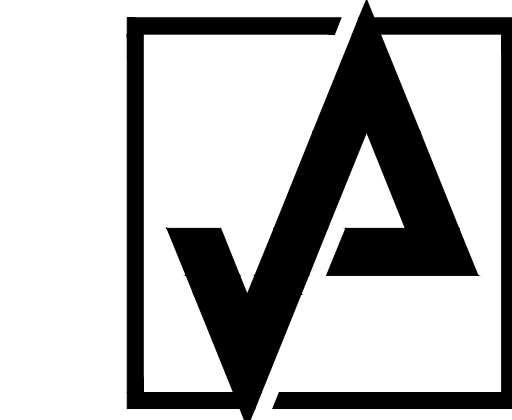
### REFLECTED CEILING PLAN LEGEND

- 2x4 CEILING GRID PATCH
- 2x4 CEILING GRID
- ETR 2x4 CEILING GRID
- GYP BD
- RELOCATED / REINSTALLED EXIST SUPPLY AIR DIFFUSER
- RELOCATED / REINSTALLED EXIST RETURN AIR GRILLE
- ETR SUPPLY AIR DIFFUSER
- ETR RETURN AIR GRILLE
- ETR 2x4 LAY-IN LIGHT FIXTURE
- 2x4 LAY-IN LIGHT FIXTURE (SALVAGED)
- SPRINKLER HEAD
- ETR SPRINKLER HEAD
- RELOCATED / REINSTALLED EXIST CLG MTD EXIT SIGN
- DIRECTIONAL CEILING MTD EXIT SIGN
- CEILING MATERIAL
- CEILING FINISH
- CEILING ELEVATION

XX-XX	CEILING FINISH SCHEDULE			
CODE	MATERIAL	MANUFACTURER	PRODUCT NO	DESCRIPTION / REMARKS
CG-01	CEILING GRID	MATCH EXISTING	MATCH EXISTING	
CT-01	CEILING TILES	MATCH EXISTING	MATCH EXISTING	
CG-02	CEILING GRID	ARMSTRONG	PRELUDE XL 15/16"	EXPOSED TEE GRID
CT-02	CEILING TILES	ARMSTRONG	SCHOOL ZONE FINE FIGURED	2'x4' TILE / COLOR WHITE / NRC 0.70

### REFLECTED CEILING PLAN

SCALE: 1/8" = 1'-0"



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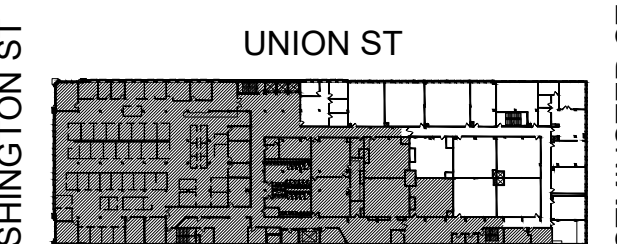
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NUMBER	REMARKS	DATE
1	BCC COMMENTS	01/02/2026
2	OWNER + BCC COMMENTS	01/21/2026



### KEYPLAN

PROJECT TITLE:  
**SHEPARD BUILDING**  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

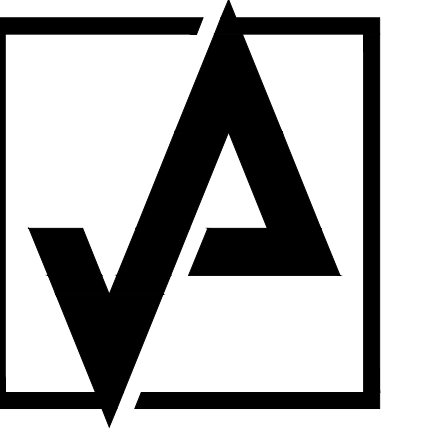
DRAWING TITLE:  
**REFLECTED  
CEILING PLAN,  
SCHEDULE & DTLS**

DATE: JAN XX, 2026	PROJ NO: 25175
DRAWN BY: AL	CHECKED BY: DH

DRAWING NUMBER:

**A1.3**





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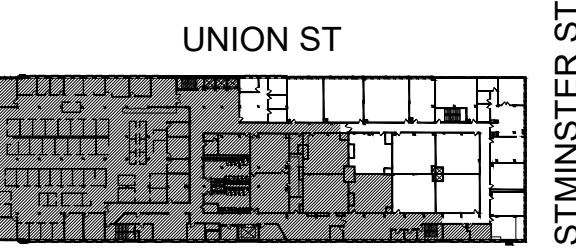
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NUMBER	REMARKS	DATE
2	OWNER COMMENTS	01/21/2026
3	OWNER COMMENTS	01/27/2026
4	OWNER COMMENTS	02/02/2026

WASHINGTON ST



WESTMINSTER ST

KEYPLAN

PROJECT TITLE:

SHEPARD BUILDING  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

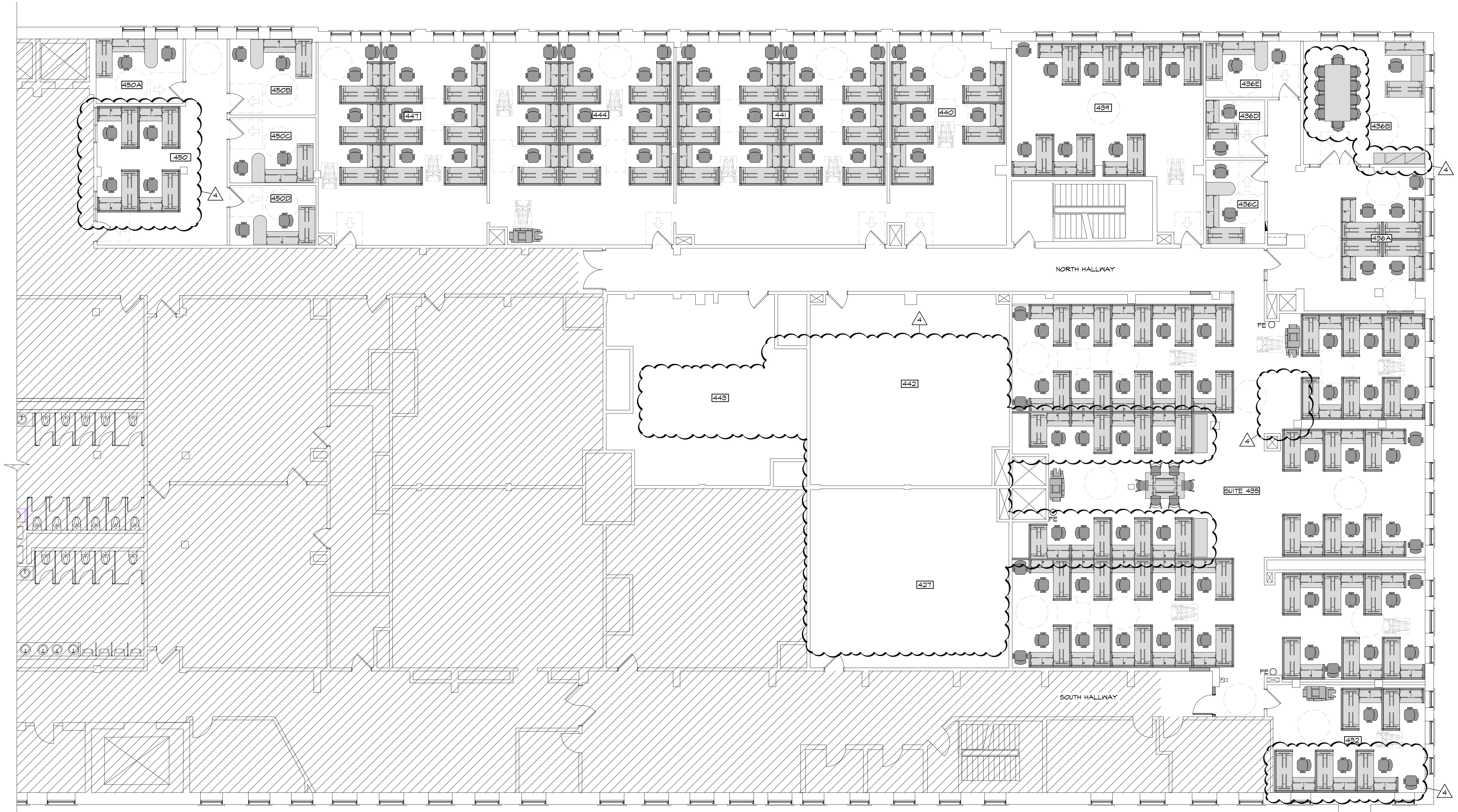
DRAWING TITLE:

FURNITURE PLAN &  
ADA COMPLIANCE

DATE:	PROJ NO:
JAN XX, 2026	25175
DRAWN BY:	CHECKED BY:
AL	DH

DRAWING NUMBER:

A1.4



FURNITURE PLAN  
SCALE: 1/8" = 1'-0"





SHEPARD BUILDING 4TH FLOOR RENOVATION  
80 WASHINGTON STREET PROVIDENCE, RI 02903  
ELECTRICAL DRAWINGS

SCOPE OF WORK SUMMARY

THIS ELECTRICAL DRAWING PACKAGE HAS BEEN PREPARED TO DOCUMENT AND SUPPORT THE RENOVATION OF EXISTING OFFICE AND CLASSROOM SPACE AT THE SHEPARD BUILDING PROJECT. THE SCOPE OF THIS PACKAGE IS LIMITED TO THE ELECTRICAL ENGINEERING DESIGN NECESSARY TO ACCOMMODATE THE NEW ARCHITECTURAL AND FURNITURE LAYOUTS, COVERING FIRE ALARM, POWER, LIGHTING, AND CONTROLS.

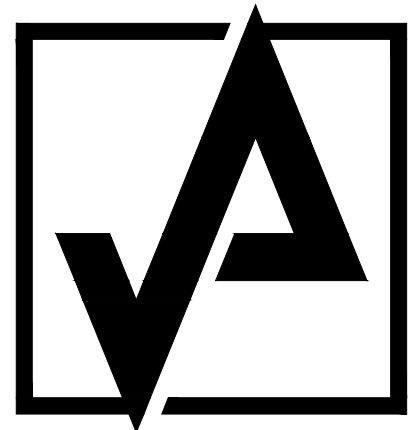
WORK CONTAINED IN THIS PACKAGE

- NEW POWER DISTRIBUTION TO FURNITURE WORKSTATIONS SUPPLIED BY THE OWNER.
- RELOCATION AND REPROGRAMMING OF EXISTING LIGHTING FIXTURES.
- NEW LIGHTING CONTROL ZONES.
- NEW RECEPTACLE CONTROL PER IECC 2024 REQUIREMENTS.
- REUSE OF EXISTING PANELBOARDS FOR NEW BRANCH CIRCUITING.

COORDINATION AND ADDITIONAL DOCUMENTS:

- COORDINATION WITH THE FURNITURE WORKSTATION VENDOR.

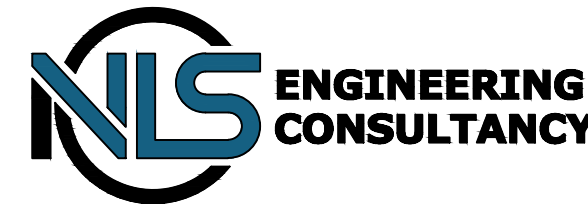
DWG#	DRAWING NAME	REV	REV	REV	REV
E0.1	ELECTRICAL COVER SHEET	1	2	3	4
E1.1	ELECTRICAL POWER, FIRE ALARM, & SYSTEMS PLAN - DEMOLITION	1	2	3	4
E1.2	ELECTRICAL POWER, FIRE ALARM, & SYSTEMS PLAN - NEW WORK	1	2	3	4
E2.1	ELECTRICAL LIGHTING PLAN - DEMOLITION	1	2	3	N/A
E2.2	ELECTRICAL LIGHTING PLAN - NEW WORK	1	2	3	N/A
E3.1	ELECTRICAL SCHEDULES AND DETAILS	1	2	3	4
E3.2	ELECTRICAL DAYLIGHT ZONING AND LIGHTING CONTROLS SEQUENCES	1	2	3	N/A



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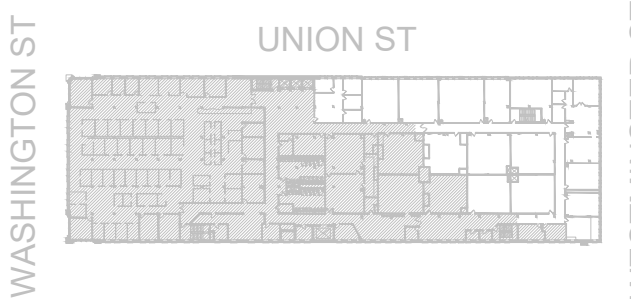


PRELIMINARY  
NOT FOR CONSTRUCTION

FOR CONSTRUCTION

REVISIONS:

△ NUMBER	REMARKS	DATE
1	FOR PERMIT	01-02-2026
2	FOR CONSTRUCTION	01-16-2026
3	OWNER COMMENTS	01-27-2026
4	OWNER COMMENTS	02-02-2026



KEYPLAN

PROJECT TITLE:

SHEPARD BUILDING  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

DRAWING TITLE:

ELECTRICAL COVER SHEET

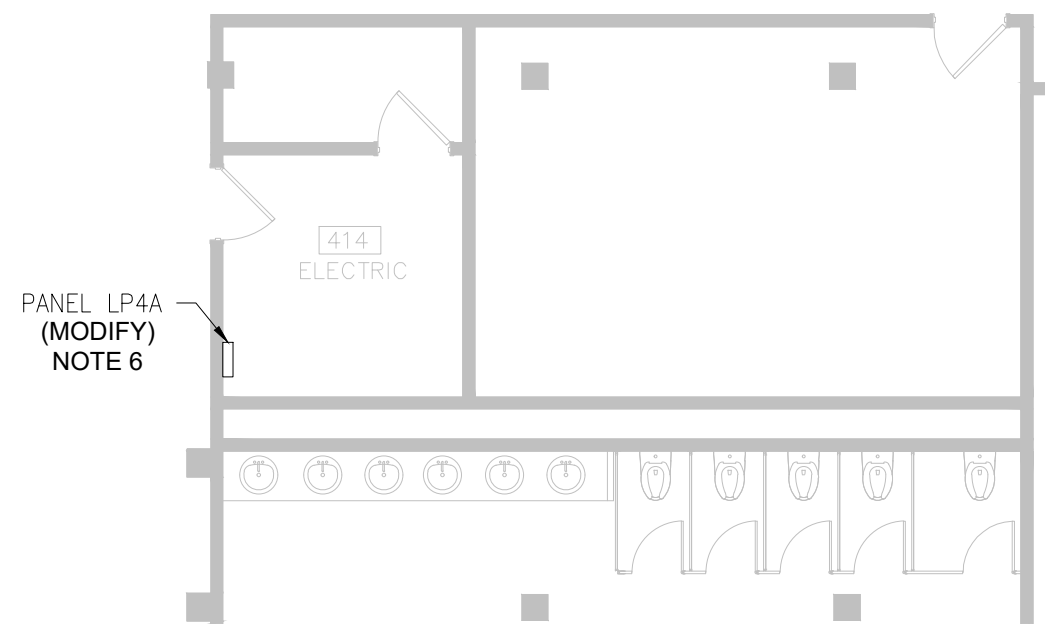
DATE: 01-27-2026	PROJ NO: 25019.000
DRAWN BY: MR	CHECKED BY: JWM

DRAWING NUMBER:

E0.1



2 414 ELECTRICAL ROOM  
SCALE: 1/8" = 1'-0"



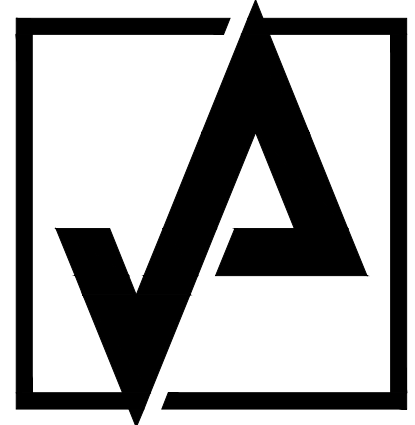
LINEWORK LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	NEW EQUIPMENT

**NOTE:**

- EXISTING ITEMS TO BE REUSED WILL BE INDICATED BY KEYED NOTES.
- BOLD TEXT INDICATES NEW WORK OR MODIFICATIONS TO EXISTING SYSTEMS. THIN TEXT INDICATES EXISTING CONDITIONS TO REMAIN.

- GENERAL NOTES**
- A. UNLESS NOTED OTHERWISE, RECEPTACLES AND DATA OUTLETS ON THIS PLAN ARE LOCATED 18" ABOVE FINISHED FLOOR TO THE CENTER OF THE BOX. SUBSCRIPT "+HP" NEXT TO ANY DEVICE INDICATES HEIGHT ABOVE FINISHED FLOOR TO THE CENTER OF THE BOX.
- B. INCLUDE IN THE BID LABOR REQUIRED TO TRACE AND VERIFY SOURCE CIRCUITS FOR ALL CIRCUITS AFFECTED BY WORK IN THE PROJECT AREA, INCLUDING DETERMINING WHETHER DEMOLITION REQUIRES REMOVAL BACK TO THE NEXT REMAINING DEVICE OR BACK TO THE SOURCE PANEL(S). IF DEMOLITION WORK INTERRUPTS CIRCUITS FEEDING DEVICES OUTSIDE THE PROJECT AREA, CONTRACTOR SHALL RECONNECT AND MAINTAIN SERVICE. UPON COMPLETION, VERIFY ALL MODIFIED CIRCUITS AND PROVIDE NEW TYPED CIRCUIT DIRECTIONS AT THE SOURCE PANEL(S) INDICATING THE ACTUAL ROOMS SERVED. REFER TO NEW WORK PLANS FOR PROPOSED BRANCH CIRCUIT MODIFICATIONS AND NEW DEVICES.
- C. EXISTING DATA CABLEING TO OUTLETS INDICATED AS DEMOLISHED MAY BE REUSED AND RE-TERMINATED TO NEW FURNITURE INSTALLATIONS WHERE BACKROUTING ALLOWED AT CONTRACTOR'S OPTION. ALL NEW AND REUSED WORKSTATION DATA CABLEING SHALL BE TESTED AND CERTIFIED. ANY CABLE FAILING TESTING SHALL BE REPLACED WITH NEW CABLES SERVING DEMOLISHED OUTLETS THAT ARE NOT REUSED SHALL BE REMOVED IN FULL BACK TO SOURCE (OFFTELECOM ROOM/PATCH PANEL); NO ABANDONED.
- D. PROVIDE COVER PLATES FOR BOXES WHERE WIRING DEVICES HAVE BEEN DEMOLISHED.
- KEYED NOTES**
- NOTED JUNCTION BOX REPRESENTS PROJECTOR INSTALLATIONS WITH LOCAL DATA CABLEING. REMOVE MOUNT AND CABLEING BACK TO SOURCE. REMOVE PROJECTOR POWER BACK TO NEXT REMAINING DEVICE.
  - NOTED DATA OUTLET REPRESENTS INTERCOM SYSTEM LOCAL STATION. PRESERVE AND PROTECT IN PLACE.
  - NOTED AV SYSTEM DATA AND POWER OUTLETS SHALL BE DEMOLISHED. REMOVE CABLEING COMPLETELY. PROVIDE BLANK COVER PLATES. TYPICAL ALL INSTANCES.
  - NOTED DATA OUTLET AND DUPLEX RECEPTACLE ARE INSTALLED IN AUDIOVISUAL ENCLOSURE. REMOVE THE ENCLOSURE, OUTLETS, AND CABLEING BACK TO SOURCE OR NEXT REMAINING DEVICE.
  - RELOCATE NOTED DEVICE PER THE NEW WORK PLANS.
  - MAKE AND MODEL OF EXISTING PANELS.  
- PANEL LP1 - EATON POWR LINE PRL1A  
- PANEL LP4A - GENERAL ELECTRIC A SERIES  
- PANEL LP4B - GENERAL ELECTRIC A SERIES

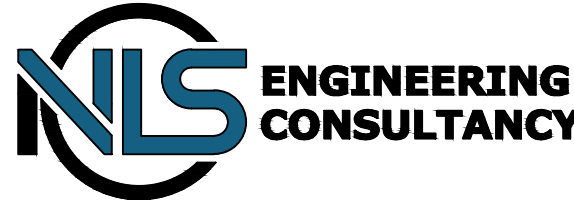
LEGEND AND SYMBOLS	
	MULTIMEDIA DATA OUTLET, 3 R45 & COAX
	DATA OUTLET WITH RJ45 JACKS. SUBSCRIPTS INDICATE TYPE AND QUANTITY OF JACKS AND HOME RUN CABLES BACK TO IT ROOM.
	LOCAL ROOM DATA CONNECTION FOR AV SYSTEMS.
	DEMOLISH OUTLET AND CABLEING BACK TO SOURCE.
	WIRELESS ACCESS POINT. PROVIDE TWO (2) CAT6 CABLE HOMERUNS TO THE NEAREST IDF. WIRELESS ACCESS POINT PROVIDED BY THE OWNER.
	CEILING MOUNTED CAMERA
	FIRE ALARM SMOKE DETECTOR
	FIRE ALARM PULL STATION
	FIRE ALARM HORN/STROBE DEVICE
	FIRE ALARM STROBE ONLY DEVICE
	DUPLEX RECEPTACLE. SUBSCRIPT INDICATES TYPE: R1 = ISOLATED GROUND C = CEILING MOUNTED AC = ABOVE COUNTER S = SPLIT WIRE CONTROLLED
	FLOOR BOX PORE THRU (IF PORE THRU FLOOR BOX, POWER + DATA PROVIDE A 6" DIAMETER, RECESSED PORE THRU DEVICE WITH SEPARATE SERVICE COMPARTMENTS FOR POWER AND COMMUNICATIONS). PROVIDE TWO (2) DUPLEX RECEPTACLES AND ONE (1) DUPLEX DATA OUTLET WITH RJ45 JACKS AND CABLE HOMERUNS TO THE NEAREST IDF.
	JUNCTION BOX
	PULL BOX
	GFCI RECEPTACLE
	SPLIT WIRE CONTROLLED RECEPTACLE. PROVIDE "CONTROLLED" LABELING AS REQUIRED BY THE NEC.
	QUADRUPLX RECEPTACLE
	DUPLEX RECEPTACLE
	SPECIAL PURPOSE RECEPTACLE
	ELECTRICAL PANEL
	MANUAL OVERRIDE MOMENTARY BUTTON FOR RECEPTACLE CONTROL. (TIME CLOCK)
	PROVIDE CONTROLLED DUPLEX RECEPTACLE OUTLET, DUPLEX DATA OUTLET AND DUAL GANG BOX WITH 2" CONDUIT TO ACCESSIBLE CEILING SPACE FOR OWNERS AV CABLEING. PROVIDE BUSHINGS ON THE ENDS OF EMPTY CONDUIT. COLLOCATE BOXES AT HEIGHT TO ACCOMMODATE CONCEALED CONNECTIONS AT THE MONITOR.



AHARONIAN  
& ASSOCIATES, INC.  
ARCHITECTS

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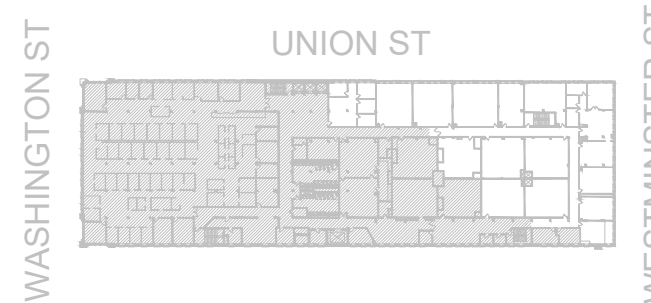


PRELIMINARY  
NOT FOR CONSTRUCTION

FOR CONSTRUCTION

REVISIONS:

NUMBER	REMARKS	DATE
1	FOR PERMIT	01-02-2026
2	FOR CONSTRUCTION	01-21-2026
3	OWNER COMMENTS	01-27-2026
4	OWNER COMMENTS	02-02-2026



KEYPLAN

PROJECT TITLE:

SHEPARD BUILDING  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

DRAWING TITLE:

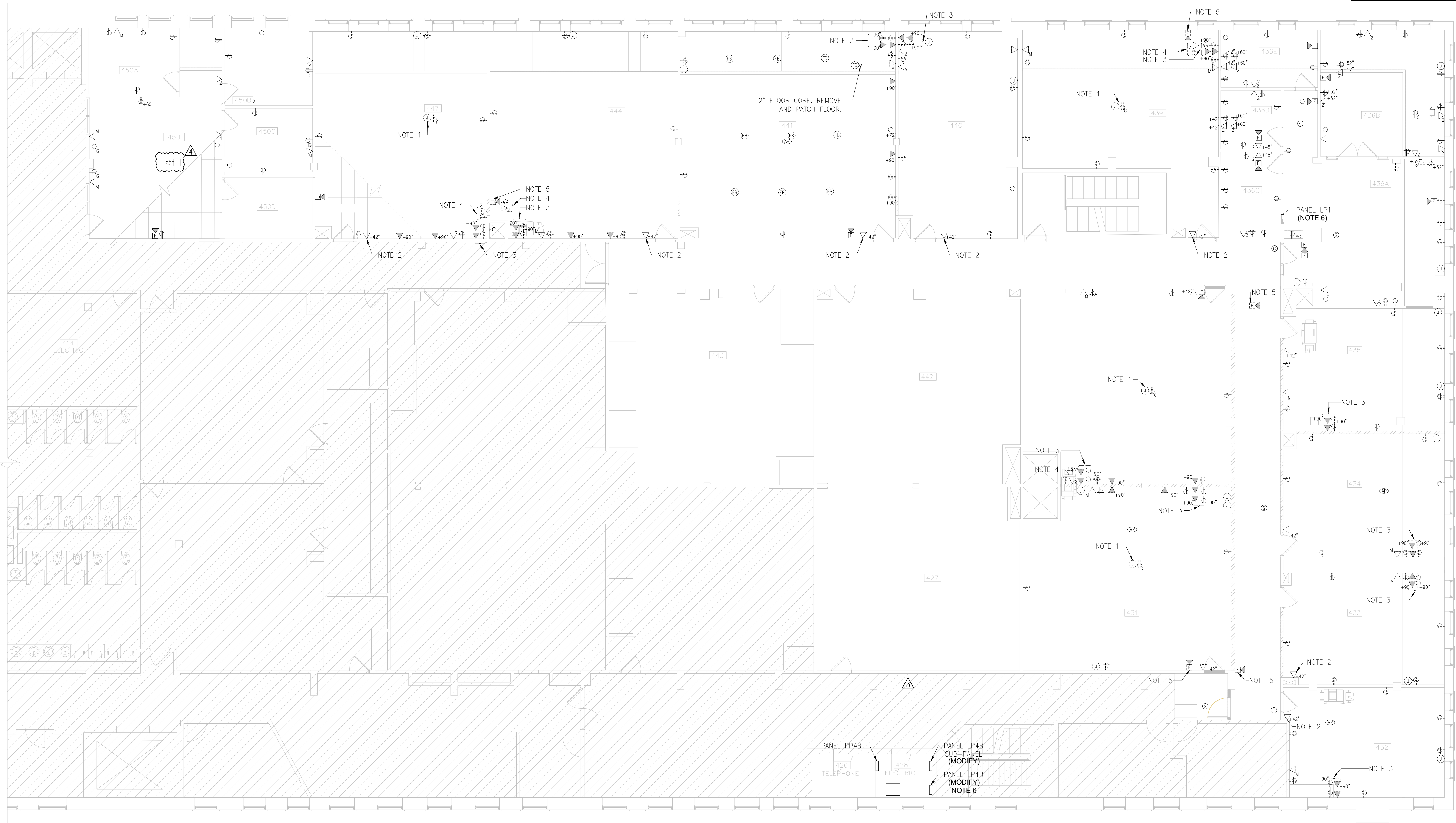
ELECTRICAL POWER, FIRE  
ALARM, & SYSTEMS PLAN -  
DEMOLITION

DATE:	PROJ NO:
01-27-2026	25019.000
DRAWN BY:	CHECKED BY:
MR	JWM

DRAWING NUMBER:

E1.1

1 ELECTRICAL POWER, FIRE ALARM & SYSTEMS PLAN - DEMOLITION  
SCALE: 1/8" = 1'-0"



1 INCH

BAR EQUALS ONE INCH  
WHEN DRAWING IS  
PLOTTED FULL SIZE.  
IF NOT, SCALE  
ACCORDINGLY



ALTERNATE #1, REQUIREMENTS			
ROOMS INCLUDE	SCOPE (COORDINATE, FURNISH, INSTALL, TEST/COMMISSION)		
	POWER	DATA	CONTROLS
-			
436C, 436D, 436E	CONTROLLED SPLIT-WIRE DUPLEX RECEPTACLE EACH WALL	DUPLEX DATA OUTLET & HOMERUN CABLEING, LOCATE AT THE COMPUTER WORKSTATION IN THE ROOM	PROVIDE INTEGRATION WITH TIME CLOCK CONTROL SYSTEM
450A, 450B, 450C, 450D	CONTROLLED SPLIT-WIRE DUPLEX RECEPTACLE EACH WALL	DUPLEX DATA OUTLET & HOMERUN CABLEING, LOCATE AT THE COMPUTER WORKSTATION IN THE ROOM	PROVIDE INTEGRATION WITH TIME CLOCK CONTROL SYSTEM
<b>GENERAL NOTES:</b> 1. THIS IS AN ADDITIVE ALTERNATE TO THE BASE PROJECT SCOPE. 2. ALL DUPLEX RECEPTACLES PROVIDED UNDER THIS ALTERNATE SHALL BE SPLIT-WIRED AND CONTROLLED BY THE "TIME CLOCK CONTROL SYSTEM." 3. FINAL LOCATIONS FOR RECEPTACLES, DATA OUTLETS, AND CABLEING SHALL BE COORDINATED WITH FURNITURE/COMPUTER DESK LOCATIONS AND CONFIRMED IN THE FIELD. 4. PROVIDE REQUIRED ROUGH-IN, DEVICE PLATES, LABELING, TERMINATIONS, AND TESTING FOR POWER AND DATA WORK IN ACCORDANCE WITH PROJECT STANDARDS AND APPLICABLE CODES. 5. ALL EXISTING POWER AND DATA PROVISIONS SHALL BE DEMOLISHED FOR EACH ROOM UNDER THIS ALTERNATE.			

ALTERNATE #2, REQUIREMENTS			
ROOMS INCLUDE	SCOPE (COORDINATE, FURNISH, INSTALL, TEST/COMMISSION)		
	POWER	DATA	CONTROLS
-			
436B, SUITE 435	ONE (1) RECESSED FLOOR BOX WITH TWO DUPLEX RECEPTACLE OUTLETS, ONE DUPLEX CONTROLLED AND ONE DUPLEX UNCONTROLLED.	RECESSED FLOOR BOX WITH DUPLEX DATA OUTLET AND HOMERUN CABLEING	PROVIDE INTEGRATION WITH TIME CLOCK CONTROL SYSTEM
<b>GENERAL NOTES:</b> 1. THIS IS AN ADDITIVE ALTERNATE TO THE BASE PROJECT SCOPE. 2. FLOOR BOXES SHALL BE LOCATED CENTERED UNDERNEATH ASSOCIATED CONFERENCE TABLES. PROVIDE ONE (1)3/4" CONDUIT FOR POWER, ONE (1)2" CONDUIT FOR DATA AND OWNER'S AUXILIARY CABLEING. ROUTE DATA CONDUITS TO ACCESSIBLE CEILING SPACE IN THE ROOM. 3. PROVIDE REQUIRED ROUGH-IN, DEVICE PLATES, LABELING, TERMINATIONS, AND TESTING FOR POWER AND DATA WORK IN ACCORDANCE WITH PROJECT STANDARDS AND APPLICABLE CODES.			

SECURITY & ACCESS CONTROL RESPONSIBILITY				
DESIGN COORDINATION ITEM	ELECTRICAL CONTRACTOR	SECURITY VENDOR	OWNER	AHJ
PROVIDE 120V NORMAL POWER IN PROXIMITY TO ALL ACCESS CONTROL/CARD READER LOCATIONS SHOWN ON PLANS.	X			
PROVIDE 120V NORMAL POWER TO CARD READER INTERFACE PANEL IN THE SECURITY HEAD END ROOM.	X			
COORDINATE FINAL DEVICE LOCATIONS IN FIELD (CARD READERS/POWER DROP LOCATIONS) WITH OWNER AND SECURITY VENDOR.	X	X	X	
PROVIDE FIRE ALARM SYSTEM INTERCONNECTION (AS REQUIRED) TO RELEASE/DEACTIVATE ELECTRONICALLY LOCKED DOORS UPON FIRE ALARM ACTIVATION.	X	X		
PROVIDE ACCESS CONTROL SYSTEM EQUIPMENT AND INTERCONNECTIONS (CONTROLLERS, POWER SUPPLIES, READERS, LOCKS/STRIKES, CABLEING, NETWORK CONNECTIONS).		X	X	
TERMINATION, PROGRAMMING, TESTING, COMMISSIONING, AND DOCUMENTATION OF ACCESS CONTROL SYSTEM (INCLUDING INTERFACES).		X	X	
COORDINATION FOR EMERGENCY EGRESS PLAN. IDENTIFY DOORS ALONG PATH OF EGRESS AND CONFIRM FREE EGRESS WITHOUT CREDENTIALS.	X	X	X	X
CONFIRM WHICH DOORS REQUIRE RELEASE UPON FIRE ALARM ACTIVATION. DOCUMENT REQUIRED RELEASE METHOD/SEQUENCE (CONTRACTOR/VENDOR COORDINATION).	X	X	X	X
CONFIRM DOOR HARDWARE IS FAIL-SAFE ALONG PATH OF EGRESS (UNLOCK ON LOSS OF POWER) WHERE ELECTRONICALLY LOCKED.		X	X	X
PROVIDE CONDUIT/RUNWAY AND TERMINATIONS AS REQUIRED FOR 120V FEEDS TO SECURITY POWER SUPPLIES/INJECTION POINTS (COORDINATE FINAL ROUTING WITH SECURITY VENDOR).	X			
AS-BUILT'S (O&M) DOCUMENTATION FOR ACCESS CONTROL SYSTEM (INCLUDING FINAL DOOR SCHEDULE AND POWER LOSS / FIRE ALARM BEHAVIOR).		X	X	
<b>NOTES:</b> 1. ELECTRICAL DRAWINGS INDICATE 120V NORMAL POWER AT ACCESS CONTROL/CARD READER LOCATIONS AND ANY NEW READER INTERFACE PANELS. FINAL REQUIREMENTS SUBJECT TO OWNER/SECURITY VENDOR COORDINATION DURING CONSTRUCTION. 2. STAND-BY EMERGENCY POWER IS NOT PROVIDED FOR ACCESS CONTROL. POWER DROPS UNLESS SPECIFICALLY DIRECTED BY OWNER AND/OR AHJ. 3. ELECTRONICALLY LOCKED DOORS ALONG THE PATH OF EGRESS SHALL PROVIDE FREE EGRESS WITHOUT CREDENTIALS AND SHALL BE FAIL-SAFE WHERE REQUIRED (UNLOCK ON LOSS OF POWER). 4. WHERE ACCESS-CONTROLLED LOCKING IS INSTALLED IN EGRESS CONDITIONS, FIRE ALARM ACTIVATION SHALL RELEASE/DEACTIVATE LOCKS AS REQUIRED. COORDINATE FA INTERFACE REQUIREMENTS WITH SECURITY VENDOR, OWNER, AND AHJ.				

LEGEND AND SYMBOLS	
	MULTIMEDIA DATA OUTLET: 2 RJ45 & COAX
	DATA OUTLET WITH RJ45 JACKS: SUBSCRIPTS INDICATE TYPE AND QUANTITY OF JACKS AND HOMERUN CABLES BACK TO IT ROOM
	LOCAL ROOM DATA CONNECTION FOR AV SYSTEM: ROUGH-IN OUTLET AND CABLEING BACK TO SOURCE
	WIRELESS ACCESS POINT: PROVIDE TWO (2) CAT6A CABLE HOMERUNS TO THE NEAREST IDF. WIRELESS ACCESS POINT PROVIDED BY THE OWNER
	CEILING MOUNTED CAMERA
	FIRE ALARM SMOKE DETECTOR
	FIRE ALARM PULL STATION
	FIRE ALARM HORN/STROBE DEVICE
	FIRE ALARM STROBE ONLY DEVICE
	DUPLEX RECEPTACLE: SUBSCRIPT INDICATES TYPE: 1 = ISOLATED GROUND 2 = CEILING MOUNTED 3 = ABOVE COUNTER 4 = SPLIT WIRE CONTROLLED
	FLOOR BOX POKE THRU: 4" POKE-THRU FLOOR BOX, POWER + DATA. PROVIDE 4" DIAMETER, RECESSED POKE-THRU DEVICE WITH SEPARATE SERVICE COMPARTMENTS FOR POWER AND COMMUNICATIONS. PROVIDE TWO (2) DUPLEX RECEPTACLES AND ONE (1) DUPLEX DATA OUTLET WITH RJ45 JACKS AND CABLE HOMERUNS TO THE NEAREST IDF
	JUNCTION BOX
	PULL BOX
	GFCI RECEPTACLE
	SPLIT WIRE CONTROLLED RECEPTACLE: PROVIDE "CONTROLLED" LABELING AS REQUIRED BY THE NEC.
	QUADRUPLEX RECEPTACLE
	DUPLEX RECEPTACLE
	SPECIAL PURPOSE RECEPTACLE
	ELECTRICAL PANEL
	MANUAL OVERRIDE MOMENTARY BUTTON FOR RECEPTACLE CONTROL (TIME CLOCK)
	FIRE ALARM STROBE
	FIRE ALARM HORN

GENERAL NOTES	
A.	CONVENIENCE RECEPTACLE BRANCH CIRCUITS SHALL BE REWORKED AS REQUIRED TO SUIT THE RENOVATION LAYOUT AND MAINTAIN CONVENIENCE RECEPTACLES IN THE FOLLOWING AREAS: ROOMS 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.
B.	NEW/RELOCATED FIRE ALARM NOTIFICATION AND DETECTION DEVICES SHALL BE INSTALLED AND WIRED IN ACCORDANCE WITH THE BUILDING'S EXISTING STANDARDS AND FIRE ALARM WIRING PRACTICES AND SHALL BE FULLY INTEGRATED INTO THE EXISTING SYSTEM TO MAINTAIN CURRENT FIRE ALARM PROGRAMMING AND OPERATION, INCLUDING ALL REQUIREMENTS OF THE EXISTING NFPA/UL/ETC SEQUENCE.
C.	REFER TO TABLE ALTERNATE #1 AND #2 REQUIREMENTS THIS SHEET FOR ADDITIONAL BIDDING INFORMATION.
D.	OBTAIN FURNITURE VENDOR SHOP DRAWINGS AND COORDINATE POWER AND DATA ENTRY LOCATIONS PRIOR TO ROUGH-IN OF SERVICES. FURNITURE CONNECTIONS SHOWN INDICATE DESIGN INTENT ONLY. FINAL LOCATIONS SHALL BE VERIFIED THROUGH VENDOR SHOP DRAWINGS AND FIELD COORDINATION.
E.	BRANCH CIRCUITING INDICATED ON PLANS REPRESENTS PROPOSED DESIGN INTENT AND GROUPING METHODOLOGY. DUE TO EXISTING CONDITIONS, EXACT SOURCE CIRCUITS COULD NOT BE VERIFIED PRIOR TO BID. CONTRACTOR SHALL FIELD VERIFY ACTUAL AVAILABLE CIRCUITS, MAINTAIN THE CIRCUITING LOGIC SHOWN, AND PROVIDE UPDATED TYPEWRITTEN CIRCUIT DIRECTORIES REFLECTING FINAL AS-BUILT CONDITIONS.
<b>LINEWORK LEGEND</b> ----- EXISTING TO REMAIN ----- EXISTING TO BE DEMOLISHED ----- NEW EQUIPMENT	
<b>NOTE:</b> 1. EXISTING ITEMS TO BE REUSED WILL BE INDICATED BY KEYED NOTES. 2. BOLD TEXT INDICATES NEW WORK OR MODIFICATIONS TO EXISTING SYSTEMS. THIN TEXT INDICATES EXISTING CONDITIONS TO REMAIN.	

KEYED NOTES	
1.	NEW LOCATION OF RELOCATED DEVICE.
2.	PROVIDE NEW BREAKERS FOR PANEL LP1: -ONE (1) 20A SINGLE POLE BREAKER FOR RM 436A WORKSTATIONS -TWO (2) 20A SINGLE POLE BREAKERS FOR OPEN OFFICE WORKSTATIONS (SUITE 435) -ONE (1) 20A SINGLE POLE BREAKER FOR ACCESS CONTROL DOOR POWER -TWO (2) 20A SINGLE POLE BREAKERS FOR CORPERS IN SUITE 435 & RM 444
3.	NOTED POWER AT DOORS FOR ACCESS CONTROL SYSTEMS. REFER TO "SECURITY AND ACCESS CONTROL RESPONSIBILITY" TABLE THIS SHEET FOR MORE INFORMATION.
4.	FOR BASIS OF DESIGN, PROVIDE FIRE ALARM CONTROL, RELAY, ADDRESSABLE, FOR CUT OFF OF DOOR LOCK POWER TO ACCESS CONTROLLED DOOR CIRCUIT. THIS ITEM REQUIRES COORDINATION DURING CONSTRUCTION PRIOR TO FINAL INSTALLATION. REFER TO THE "SECURITY & ACCESS CONTROL RESPONSIBILITY" TABLE, THIS SHEET.
5.	FOR CORNER.
6.	REFER TO ALTERNATE #2 TABLE THIS SHEET FOR ADDITIONAL SCOPE.
7.	POWER/DATA PROVISIONS LOCATED AT WALLS IN NOTED ROOMS (E.G. 436C, 436D, 436E, 438B, 438C, 438D, 438E, 438F, 438G, 438H, 438I, 438J, 438K, 438L, 438M, 438N, 438O, 438P, 438Q, 438R, 438S, 438T, 438U, 438V, 438W, 438X, 438Y, 438Z, 439A, 439B, 439C, 439D, 439E, 439F, 439G, 439H, 439I, 439J, 439K, 439L, 439M, 439N, 439O, 439P, 439Q, 439R, 439S, 439T, 439U, 439V, 439W, 439X, 439Y, 439Z, 440A, 440B, 440C, 440D, 440E, 440F, 440G, 440H, 440I, 440J, 440K, 440L, 440M, 440N, 440O, 440P, 440Q, 440R, 440S, 440T, 440U, 440V, 440W, 440X, 440Y, 440Z, 441A, 441B, 441C, 441D, 441E, 441F, 441G, 441H, 441I, 441J, 441K, 441L, 441M, 441N, 441O, 441P, 441Q, 441R, 441S, 441T, 441U, 441V, 441W, 441X, 441Y, 441Z, 442A, 442B, 442C, 442D, 442E, 442F, 442G, 442H, 442I, 442J, 442K, 442L, 442M, 442N, 442O, 442P, 442Q, 442R, 442S, 442T, 442U, 442V, 442W, 442X, 442Y, 442Z, 443A, 443B, 443C, 443D, 443E, 443F, 443G, 443H, 443I, 443J, 443K, 443L, 443M, 443N, 443O, 443P, 443Q, 443R, 443S, 443T, 443U, 443V, 443W, 443X, 443Y, 443Z, 444A, 444B, 444C, 444D, 444E, 444F, 444G, 444H, 444I, 444J, 444K, 444L, 444M, 444N, 444O, 444P, 444Q, 444R, 444S, 444T, 444U, 444V, 444W, 444X, 444Y, 444Z, 445A, 445B, 445C, 445D, 445E, 445F, 445G, 445H, 445I, 445J, 445K, 445L, 445M, 445N, 445O, 445P, 445Q, 445R, 445S, 445T, 445U, 445V, 445W, 445X, 445Y, 445Z, 446A, 446B, 446C, 446D, 446E, 446F, 446G, 446H, 446I, 446J, 446K, 446L, 446M, 446N, 446O, 446P, 446Q, 446R, 446S, 446T, 446U, 446V, 446W, 446X, 446Y, 446Z, 447A, 447B, 447C, 447D, 447E, 447F, 447G, 447H, 447I, 447J, 447K, 447L, 447M, 447N, 447O, 447P, 447Q, 447R, 447S, 447T, 447U, 447V, 447W, 447X, 447Y, 447Z, 448A, 448B, 448C, 448D, 448E, 448F, 448G, 448H, 448I, 448J, 448K, 448L, 448M, 448N, 448O, 448P, 448Q, 448R, 448S, 448T, 448U, 448V, 448W, 448X, 448Y, 448Z, 449A, 449B, 449C, 449D, 449E, 449F, 449G, 449H, 449I, 449J, 449K, 449L, 449M, 449N, 449O, 449P, 449Q, 449R, 449S, 449T, 449U, 449V, 449W, 449X, 449Y, 449Z, 450A, 450B, 450C, 450D, 450E, 450F, 450G, 450H, 450I, 450J, 450K, 450L, 450M, 450N, 450O, 450P, 450Q, 450R, 450S, 450T, 450U, 450V, 450W, 450X, 450Y, 450Z, 451A, 451B, 451C, 451D, 451E, 451F, 451G, 451H, 451I, 451J, 451K, 451L, 451M, 451N, 451O, 451P, 451Q, 451R, 451S, 451T, 451U, 451V, 451W, 451X, 451Y, 451Z, 452A, 452B, 452C, 452D, 452E, 452F, 452G, 452H, 452I, 452J, 452K, 452L, 452M, 452N, 452O, 452P, 452Q, 452R, 452S, 452T, 452U, 452V, 452W, 452X, 452Y, 452Z, 453A, 453B, 453C, 453D, 453E, 453F, 453G, 453H, 453I, 453J, 453K, 453L, 453M, 453N, 453O, 453P, 453Q, 453R, 453S, 453T, 453U, 453V, 453W, 453X, 453Y, 453Z, 454A, 454B, 454C, 454D, 454E, 454F, 454G, 454H, 454I, 454J, 454K, 454L, 454M, 454N, 454O, 454P, 454Q, 454R, 454S, 454T, 454U, 454V, 454W, 454X, 454Y, 454Z, 455A, 455B, 455C, 455D, 455E, 455F, 455G, 455H, 455I, 455J, 455K, 455L, 455M, 455N, 455O, 455P, 455Q, 455R, 455S, 455T, 455U, 455V, 455W, 455X, 455Y, 455Z, 456A, 456B, 456C, 456D, 456E, 456F, 456G, 456H, 456I, 456J, 456K, 456L, 456M, 456N, 456O, 456P, 456Q, 456R, 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LIGHTING LEGEND AND SYMBOLS	
	EMERGENCY BATTERY UNIT, MATCH EXISTING FOR NEW INSTALLATIONS
	CEILING MOUNTED OCCUPANCY SENSOR
	CEILING MOUNTED SINGLE SIDED EXIT SIGN, MATCH EXISTING FOR NEW INSTALLATIONS
	WALL SWITCH ON/OFF TOGGLE, LOWERCASE SUBSCRIPT INDICATES CONTROL ZONE
	WALL SWITCH OCCUPANCY SENSOR, ON/OFF
	WALL PADDLE SWITCH ON/OFF AND DIMMING CONTROL, ILLUMINA ZBT-S1AWH
	2x4 LAY-IN BASKET TYPE TROFFER
	EMERGENCY EGRESS FIXTURE

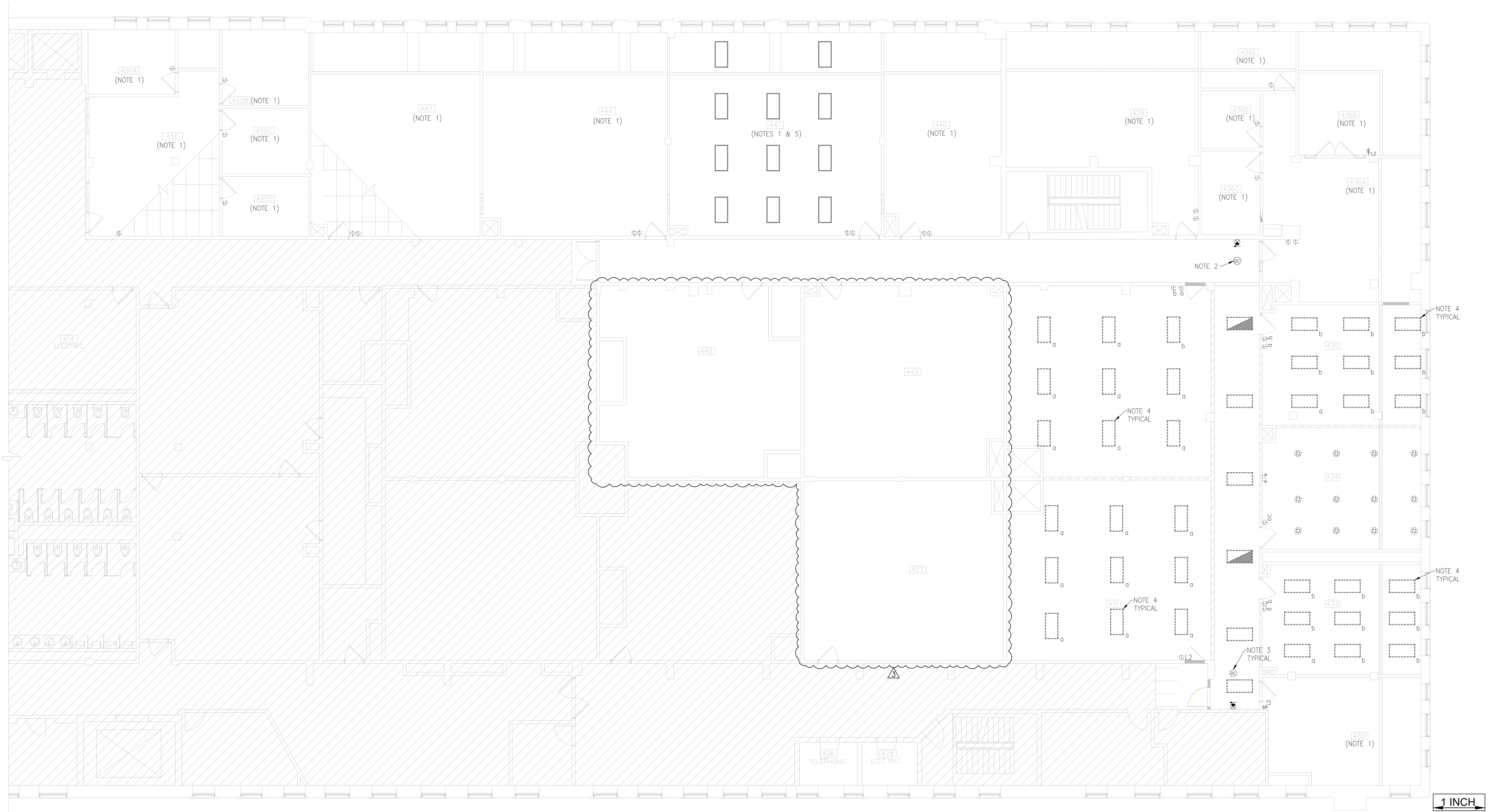
LINEWORK LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	NEW EQUIPMENT

**NOTE:**

- EXISTING ITEMS TO BE REUSED WILL BE INDICATED BY KEYED NOTES.
- BOLD TEXT INDICATES NEW WORK OR MODIFICATIONS TO EXISTING SYSTEMS. THIN TEXT INDICATES EXISTING CONDITIONS TO REMAIN.

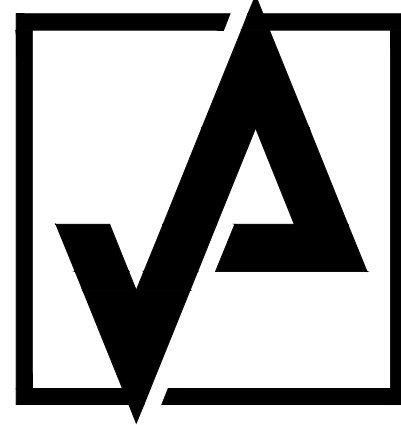
- GENERAL NOTES**
- WHERE EXISTING LIGHTING FIXTURES AND CONTROLS ARE REMOVED AND REINSTALLED, ADJUST EXISTING LINE VOLTAGE WIRING AS REQUIRED. DO NOT ABANDON UNUSED WIRING ABOVE CEILINGS. REMOVE UNUSED CONDUCTORS BACK TO THE NEXT REMAINING DEVICE OR JUNCTION POINT. WHERE SPICES/EXTENSIONS ARE REQUIRED, INSTALL IN ACCESSIBLE, COVER-EQUIPPED JUNCTION BOXES AND LABEL TO IDENTIFY THE CIRCUIT AND AREA SERVED.
  - UPON COMPLETION OF LIGHTING WORK, PROVIDE NEW TYPED CIRCUIT DIRECTORIES AT EACH AFFECTED LIGHTING PANEL. DIRECTORIES SHALL IDENTIFY THE EXACT ROOM(S) SERVED AND INCLUDE ROOM NUMBERS FOR ALL LIGHTING CIRCUITS MODIFIED BY THIS PROJECT.
  - EXISTING FIXTURES HAVE INTEGRAL LIGHTING FIXTURE LEVEL CONTROLS. THESE FIXTURES SHALL BE REUSED FOR THIS ALTERATION PROJECT. EXISTING EQUIPMENT LIST:
    - LIGHTING FIXTURE: PONDIA-HASHAWY-DM-CG-04F-SN5200
    - CONTROLS: EASY SENSE SN5200

- KEYED NOTES**
- IN NOTED PROJECT RENOVATION AREAS, EXISTING LIGHTING FIXTURES SHALL REMAIN IN PLACE. REPROGRAM AND RECOMMISSION LIGHTING CONTROLS PER SPECIFIED CONTROL SEQUENCES ON SHEET E3.2. REPLACE SWITCHES SHOWN DEMOLISHED WITH COMPATIBLE RF WIRELESS, SELF-POWERED (BATTERYLESS) PADDLE SWITCHES. SEE NEW WORK PLANS FOR BASIS OF DESIGN (BMD) MODEL AND APPROVED EQUAL.
  - EXISTING CORRIDOR CEILING OCCUPANCY SENSOR SHALL REMAIN. MAINTAIN EXISTING PROGRAMMING EXCEPT AS REQUIRED TO REVISE CONTROL ZONING SO THE SENSOR OPERATES ONLY CORRIDOR LIGHTING WITHIN THE REMAINING CORRIDOR LIMITS AND DOES NOT CONTROL LIGHTING SERVING THE NEW OPEN OFFICE CIRCULATION AREA. PROVIDE ALL WIRING, ADDRESSING, ZONING, AND INTERCONNECTION ADJUSTMENTS REQUIRED TO ACHIEVE THIS INTENT.
  - EXISTING CEILING-MOUNTED OCCUPANCY SENSOR AT END OF CORRIDOR SHALL BE RELOCATED PER NEW WORK PLANS. REINSTALL, REPROGRAM, AND RECOMMISSION TO MAINTAIN ORIGINAL CONTROL INTENT FOR THE REMAINING CORRIDOR LIGHTING ONLY. SENSOR SHALL NOT CONTROL LIGHTING SERVING THE NEW OPEN OFFICE AREA. PROVIDE ALL WIRING, ADDRESSING, ZONING, AND INTERCONNECTION ADJUSTMENTS REQUIRED TO ACHIEVE THIS INTENT.
  - EXISTING 2x4 LIGHTING FIXTURES INDICATED AS DEMOLISHED ARE TO BE SALVAGED FOR REUSE. REMOVE, CLEAN, AND STORE FIXTURES FOR REINSTALLATION AS PART OF THIS PROJECT. SEE NEW WORK PLANS FOR NEW LOCATIONS OF EXISTING FIXTURES.
  - EXISTING FIXTURES IN ROOM 441 SHALL BE PROGRAMMED FOR MULTIPLE ZONES PER THE NEW WORK PLAN.



1 ELECTRICAL LIGHTING PLAN – DEMOLITION  
SCALE: 1/8" = 1'-0"

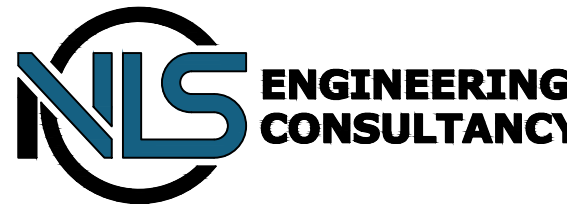
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BAR EQUALS ONE INCH  
WHEN DRAWING IS  
PLOTTED FULL SIZE.  
IF NOT, SCALE  
ACCORDINGLY



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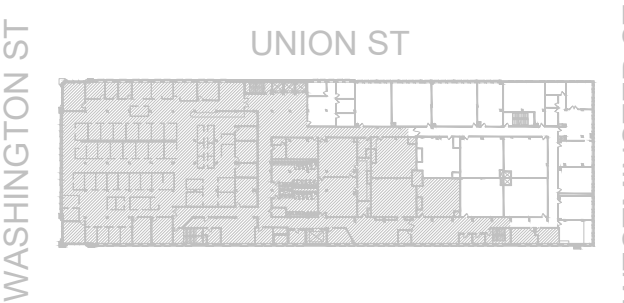
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## FOR CONSTRUCTION

### REVISIONS:

NUMBER	REMARKS	DATE
1	FOR PERMIT	01-02-2026
2	FOR CONSTRUCTION	01-21-2026
3	OWNER COMMENTS	01-27-2026



KEYPLAN

### PROJECT TITLE:

**SHEPARD BUILDING**  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

### DRAWING TITLE:

**ELECTRICAL LIGHTING  
PLAN - DEMOLITION**

DATE:	PROJ NO:
01-27-2026	25019.000
DRAWN BY:	CHECKED BY:
MR	JWM

DRAWING NUMBER:

E2.1



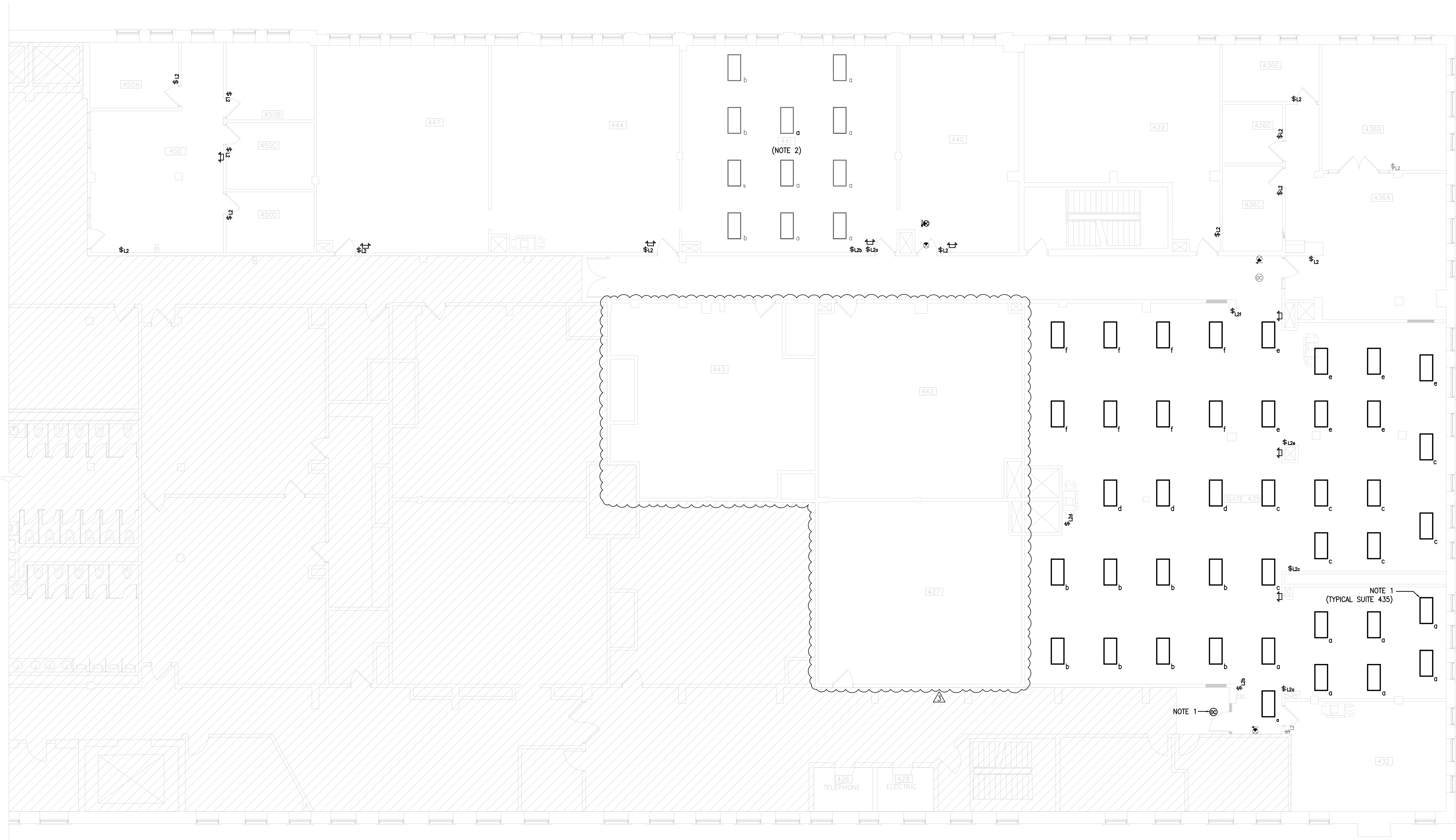
LIGHTING LEGEND AND SYMBOLS	
	EMERGENCY BATTERY UNIT, MATCH EXISTING FOR NEW INSTALLATIONS
	CEILING MOUNTED OCCUPANCY SENSOR
	CEILING MOUNTED SINGLE SIDED EXIT SIGN, MATCH EXISTING FOR NEW INSTALLATIONS
	WALL SWITCH ON/OFF TOGGLE, LOWERCASE SUBSCRIPT INDICATES CONTROL ZONE
	WALL SWITCH OCCUPANCY SENSOR, ON/OFF
	WALL PADDLE SWITCH ON/OFF AND DIMMING CONTROL, ILLUMRA ZBT-S1AWH
	2x4 LAY-IN BASKET TYPE TROFFER
	EMERGENCY EGRESS FIXTURE

LINEWORK LEGEND	
	EXISTING TO REMAIN
	EXISTING TO BE DEMOLISHED
	NEW EQUIPMENT

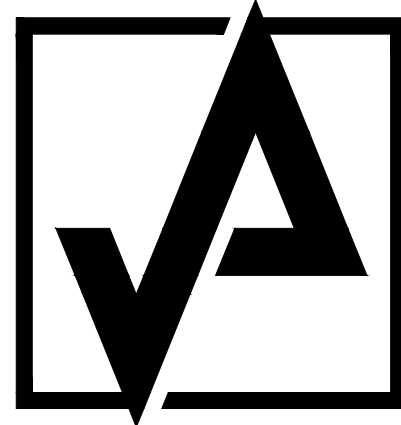
**NOTE:**

- EXISTING ITEMS TO BE REUSED WILL BE INDICATED BY KEYED NOTES.
- BOLD TEXT INDICATES NEW WORK OR MODIFICATIONS TO EXISTING SYSTEMS. THIN TEXT INDICATES EXISTING CONDITIONS TO REMAIN.

- GENERAL NOTES**
- REFER TO SHEET E3.2 FOR LIGHTING CONTROL SEQUENCES AND DAYLIGHT CONTROL ZONES FOR EACH SPACE.
  - EACH SPACE SHALL HAVE MANUAL DIMMING CONTROL VIA WALL STATION PADDLE SWITCHES WITH ON/OFF CONTROL AND DIMMING. PROVIDE ILLUMRA ZBT-S1AWH TO MATCH EXISTING INSTALLATIONS.
  - PROVIDE UNSWITCHED CIRCUIT FROM NEARBY LIGHTING BRANCH CIRCUIT FOR NEW EMERGENCY LIGHTING AND EXIT SIGNS.
  - COMMISSIONING REQUIREMENTS: COMMISSIONING IS REQUIRED FOR ALL LIGHTING CONTROLS AND RECEPTACLE CONTROLS IN ACCORDANCE WITH IEC 204 SECTION C408. REFER TO THE PROJECT SPECIFICATIONS.
- KEYED NOTES**
- RELOCATED/REINSTALLED.
  - ROOM 441 IS OVER THE THRESHOLD FOR A SINGLE OPEN OFFICE CONTROL ZONE. THEREFORE, TWO (2) ZONES OF CONTROL SHALL BE IMPLEMENTED FOR THIS AREA AS SHOWN ON PLAN.



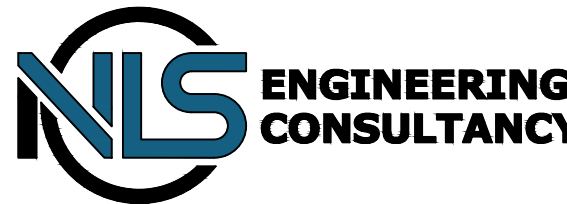
1 ELECTRICAL LIGHTING PLAN – NEW WORK  
SCALE: 1/8" = 1'-0"



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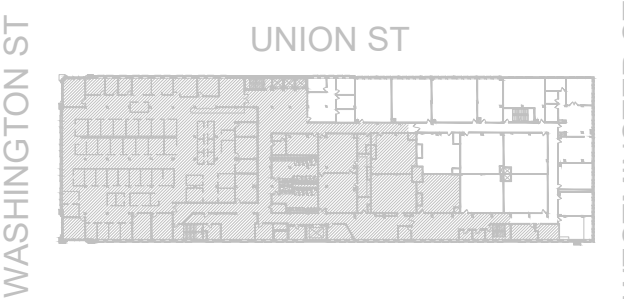
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REVISIONS:

NUMBER	REMARKS	DATE
1	FOR PERMIT	01-02-2026
2	FOR CONSTRUCTION	01-21-2026
3	OWNER COMMENTS	01-27-2026



KEYPLAN

PROJECT TITLE:  
**SHEPARD BUILDING**  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

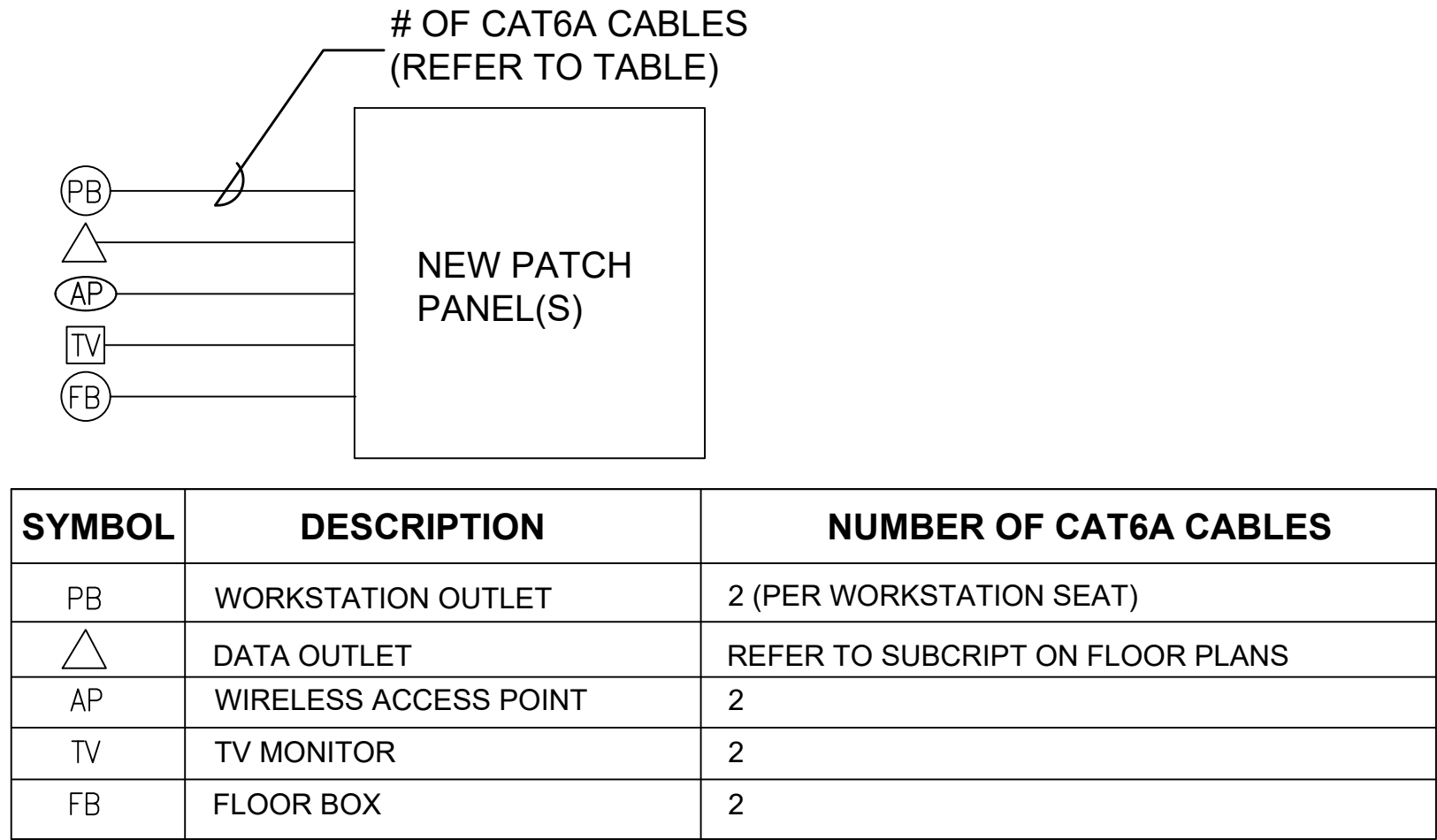
DRAWING TITLE:  
**ELECTRICAL LIGHTING  
PLAN - NEW WORK**

DATE: 01-27-2026	PROJ NO: 25019.000
DRAWN BY: MR	CHECKED BY: JWM

DRAWING NUMBER:

E2.2





- NOTES:
- FOR BIDDING PURPOSES, PROVIDE FOUR (4) NEW 48-PORT PATCH PANELS MATCHING EXISTING MAKE AND MODEL OF OWNER EQUIPMENT. INSTALL INTO EXISTING RACKS (NO NEW RACKS REQUIRED).
  - PROVIDE PATCH PANELS MATCHING EXISTING SIEMON EQUIPMENT.
  - LABEL ALL DATA CABLES END-TO-END AT PATCH PANEL TERMINATIONS AND FACEPLATES. COORDINATE WITH OWNER'S IT STAFF TO DETERMINE LABELING SYSTEM MATCHING EXISTING STANDARDS AND IMPLEMENT APPROVED SYSTEM.
  - THE PROJECT INCLUDES INSTALLATION, TERMINATION, TESTING AND COMMISSIONING OF ALL CAT6A CABLING.

③ LOW-VOLTAGE CAT6A CABLING INTERCONNECTION  
BLOCK DIAGRAM

AUTOMATIC RECEPTACLE CONTROL SEQUENCE

SCOPE & COMPLIANCE STRATEGY

- SCOPE OF CONTROL: AUTOMATIC CONTROL SHALL BE APPLIED TO RECEPTACLES LOCATED WITHIN THE MODULAR FURNITURE WORKSTATIONS AND SPLIT CONTROLLED RECEPTACLES AS DEFINED BELOW.
- EXISTING CONDITIONS: EXISTING WALL-MOUNTED CONVENIENCE RECEPTACLES IN AREA OF BRANCH CIRCUIT MODIFICATION SHALL BE REPLACED WITH SPLIT WIRE CONTROLLED RECEPTACLES AND PROVIDED WITH A SWITCHED HOT LEG TIED TO THE TIME CLOCKS.

SYSTEM ARCHITECTURE

- METHOD: CONTROL SHALL BE ACHIEVED VIA A CENTRALIZED TIME-CLOCK SCHEDULE (RELAY PANEL OR LIGHTING CONTROL SYSTEM) SWITCHING THE DESIGNATED "CONTROLLED" LEG OF THE BRANCH CIRCUITS SERVING THE FURNITURE SYSTEMS.
- MARKING: CONTROLLED RECEPTACLES AT THE WORKSTATION FACEPLATES SHALL BE PERMANENTLY MARKED WITH THE STANDARD SYMBOL OR THE WORD "CONTROLLED" TO INDICATE AUTOMATIC SHUTOFF CAPABILITY.

SCHEDULED OPERATION (TIME-OF-DAY)

- NORMAL BUSINESS HOURS: FURNITURE CIRCUITS AND SPLIT CONTROLLED RECEPTACLES SHALL BE ENERGIZED (ON) AUTOMATICALLY ACCORDING TO THE PROGRAMMED SCHEDULE.
- AFTER HOURS / VACANCY: AT THE END OF THE SCHEDULED "ON" PERIOD, THE "SWITCHED" POWER LEG SHALL AUTOMATICALLY TURN OFF.
- WEEKEND / HOLIDAY: SWITCHED POWER SHALL REMAIN OFF FOR 24 HOURS UNLESS MANUALLY OVERRIDDEN.

LOCAL MANUAL OVERRIDE SEQUENCE

- REQUIREMENT: PROVIDE A READILY ACCESSIBLE MANUAL OVERRIDE SWITCH LOCATED WITHIN EACH OPEN OFFICE ZONE OR CLUSTER OF WORKSTATIONS. REFER TO PLANS FOR PROPOSED LOCATIONS.
- SEQUENCE: ACTIVATING THE LOCAL MANUAL OVERRIDE SWITCH SHALL ENERGIZE THE "SWITCHED" FURNITURE FEEDS AND CONTROLLED RECEPTACLES IN THAT SPECIFIC ZONE. REFER TO THE "TIME CLOCK LOAD CONTROL SCHEDULE" THIS DRAWING.
- DURATION: THE OVERRIDE SHALL REMAIN ACTIVE FOR A MAXIMUM OF 2 HOURS.
- EXPIRATION: AFTER 2 HOURS, THE SYSTEM SHALL AUTOMATICALLY TURN THE CIRCUITS OFF AGAIN UNLESS THE OVERRIDE IS RE-ACTIVATED.

INITIAL PROGRAMMING STRATEGY (DEFAULT SETTINGS)

MONDAY – FRIDAY:

- AUTO-ON: 6:00 AM
- AUTO-OFF: 7:00 PM

SATURDAY – SUNDAY:

- STATUS: OFF (24 HOURS)

HOLIDAYS:

- STATUS: OFF (24 HOURS)

OVERRIDE DURATION: 2 HOURS

FURNITURE CONNECTION REQUIREMENTS (MULTI-CONDUCTOR FEED)

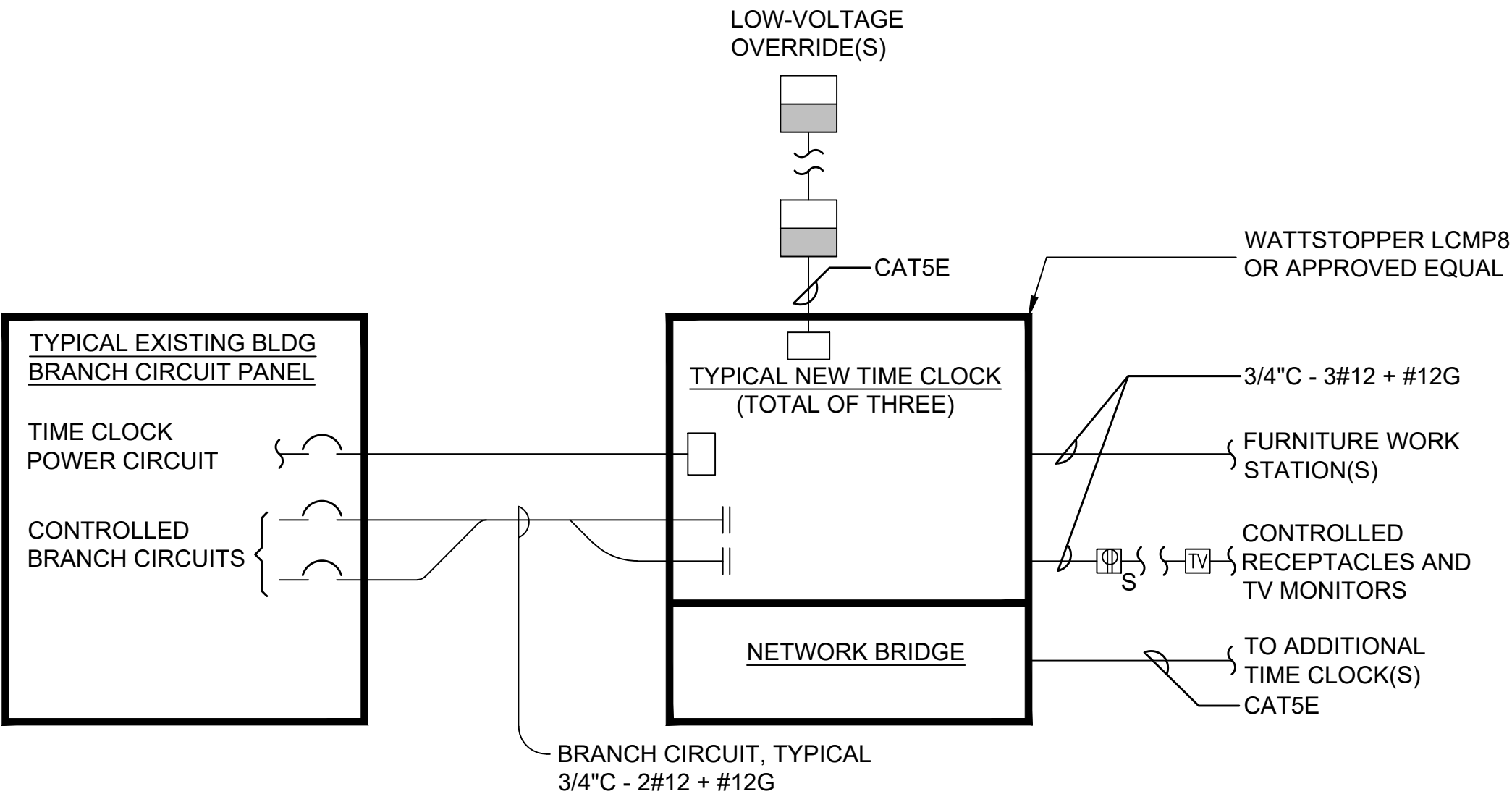
- CIRCUITING: CONTRACTOR SHALL PROVIDE A MULTI-CONDUCTOR HOMERUN (CONSTANT HOT, SWITCHED HOT, NEUTRAL, GROUND) FROM THE RELAY PANEL/CONTROLLER TO THE DESIGNATED FURNITURE FEED J-BOX TO PROVIDE OPTIONALITY FOR SEPARATE CONTROL.
- WIRING LOGIC:  
CONSTANT CONDUCTOR: BYPASSES THE TIME-CLOCK RELAY (24/7 POWER).  
SWITCHED CONDUCTOR: ROUTED THROUGH THE RELAY (SCHEDULED CONTROL).
- FURNITURE CONNECTION (FIELD COORDINATION): CONTRACTOR SHALL COORDINATE WITH THE FURNITURE INSTALLER TO DETERMINE THE CAPABILITIES OF THE FURNITURE ELECTRICAL WHIP (IN-FEED).
- OPTION A (SPLIT-WIRE WHIP): IF FURNITURE ACCEPTS DUAL INPUTS, CONNECT THE "CONSTANT" CONDUCTOR TO THE COMPUTER/CRITICAL CIRCUIT AND THE "SWITCHED" CONDUCTOR TO THE GENERAL UTILITY CIRCUIT.
- OPTION B (SINGLE-WIRE WHIP): IF FURNITURE ACCEPTS ONLY A SINGLE INPUT, CAP THE "CONSTANT" CONDUCTOR AND CONNECT THE "SWITCHED" CONDUCTOR TO THE WHIP TO CONTROL THE ENTIRE WORKSTATION.

COMMISSIONING REQUIREMENTS

- COMMISSIONING IS REQUIRED FOR ALL RECEPTACLE CONTROLS IN ACCORDANCE WITH IECC 2024 SECTION C408. REFER TO THE PROJECT SPECIFICATIONS.

② AUTOMATIC RECEPTACLE CONTROL SEQUENCES

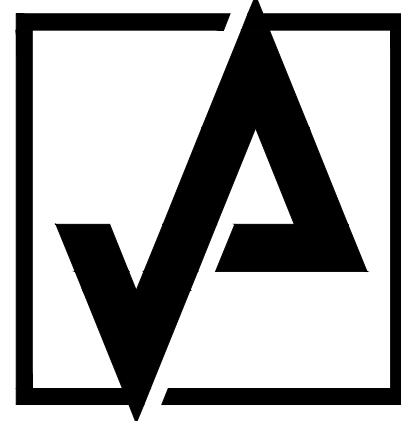
TIME CLOCK LOAD CONTROL SCHEDULE (NOTE 6)					
PANELBOARD	BRANCH CIRCUIT	LOAD DESCRIPTION	TIME CLOCK ID	OVERRIDE ID	ROOM NO.
LP1	21	FURNITURE WORKSTATIONS	TC-3	OR-5	436A
LP1	22, 23	FURNITURE WORKSTATIONS	TC-3	OR-4	SUITE 435
NOTE 4		SPLIT WIRED RECEPTACLE	TC-3	OR-5	436A
LP4A	10, 12, 18, 19, 21	FURNITURE WORKSTATIONS	TC-1	OR-1	441, 444, 447
LP4A	23	FURNITURE WORKSTATIONS	TC-1	OR-4	SUITE 435
LP4B	1, 10	FURNITURE WORKSTATIONS	TC-2	OR-1	440, 441
LP4B	9, 12	FURNITURE WORKSTATIONS	TC-2	OR-2	439
LP4B	4, 7, 14, 21, 22, 25	FURNITURE WORKSTATIONS	TC-2	OR-4	SUITE 435
LP4B	30	FURNITURE WORKSTATIONS	TC-2	OR-6	432
LP4B	26	SPLIT WIRED RECEPTACLE	TC-2	OR-6	432
NOTE 4		SPLIT WIRED RECEPTACLE	NOTE 5	OR-4	SUITE 435
NOTE 4		SPLIT WIRED RECEPTACLE	NOTE 5	OR-4	SUITE 435
NOTE 4		SPLIT WIRED RECEPTACLE	NOTE 5	OR-4	SUITE 435
NOTE 4		SPLIT WIRED RECEPTACLE	NOTE 5	OR-2	439
NOTE 4		SPLIT WIRED RECEPTACLE	NOTE 5	OR-1	440, 441
NOTE 4		SPLIT WIRED RECEPTACLE	NOTE 5	OR-1	444, 447
					△3
NOTE 4		FURNITURE WORKSTATIONS	NOTE 5	OR-1	450



NOTES:

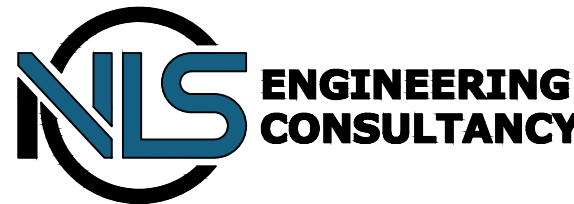
- LOCATE TIME CLOCKS ADJACENT TO BRANCH CIRCUIT PANEL FEEDING THE WORK STATIONS. THERE ARE THREE (3) TIME CLOCKS FOR THIS PROJECT. TC-1, TC-2, TC-3, EACH INSTALLED ADJACENT TO THE RESPECTIVE SOURCE PANELBOARD. ONLY TC-3 IS SHOWN ON THE PLANS. FIELD LOCATE TIME CLOCKS TC-1 AND TC-2 IN THEIR RESPECTIVE ELECTRICAL ROOMS.
- PROVIDE CONNECTIONS TO FURNITURE WORKSTATIONS PER COORDINATION WITH THE VENDOR AND ASSOCIATED SHOP DRAWINGS. REFER TO CONTROL SEQUENCES FOR ADDITIONAL INFORMATION.
- PROVIDE INTERCONNECTION BETWEEN TIME CLOCKS FOR OVERRIDE CONTROL COMMUNICATION TO ALL CONTROLLED DEVICES FOR THE PROJECT.
- NOTED PANELS AND CIRCUITS TO BE DETERMINED IN THE FIELD BY THE CONTRACTOR DURING CONSTRUCTION. REFER TO SHEET E1.2, GENERAL NOTE A. THIS PROJECT INCLUDES BRANCH CIRCUITING INVESTIGATION BY THE CONTRACTOR.
- SOURCE TIME CLOCK DEPENDS ON BRANCH CIRCUIT USED. FILL IN FINAL INFORMATION FOR OWNER'S DOCUMENTATION UPON COMPLETION OF THE PROJECT AND PRIOR TO DISTRIBUTION OF THE SCHEDULE.
- AT THE END OF THE PROJECT, PROVIDE A TYPE-WRITTEN SCHEDULE WITH COMPLETE RECEPTACLE CONTROL INFORMATION LOCATED AT THE TIME CLOCKS AND A HARD COPY FOR THE OWNER'S RECORDS.

① AUTOMATIC RECEPTACLE CONTROL (TIME CLOCK)  
INTERCONNECTION DIAGRAM – TYPICAL



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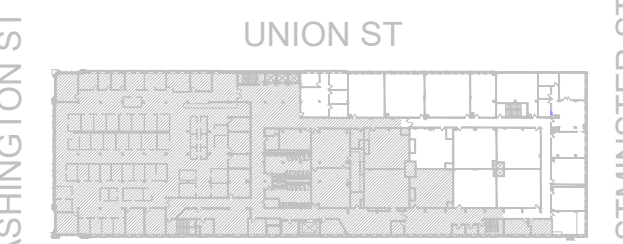
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PRELIMINARY  
NOT FOR CONSTRUCTION

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△ NUMBER	REMARKS	DATE
1	FOR PERMIT	01-02-2026
2	FOR CONSTRUCTION	01-16-2026
3	OWNER COMMENTS	01-27-2026
4	OWNER COMMENTS	02-02-2026



KEYPLAN

PROJECT TITLE:  
**SHEPARD BUILDING**  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

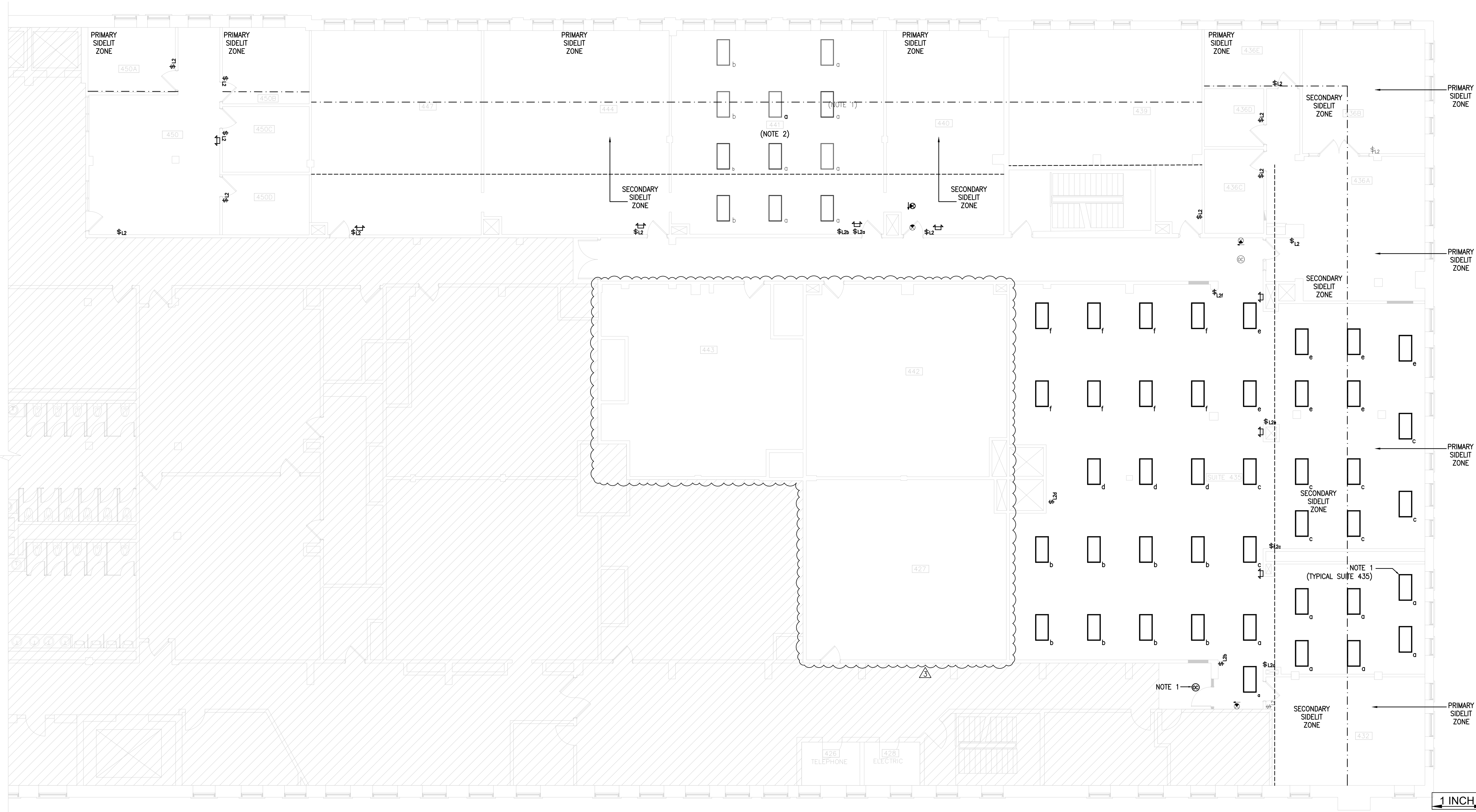
DRAWING TITLE:  
**ELECTRICAL SCHEDULES  
AND DETAILS**

DATE: 01-27-2026	PROJ NO: 25019.000
DRAWN BY: MR	CHECKED BY: JWM

DRAWING NUMBER:

E3.1





1 ELECTRICAL DAYLIGHTING ZONING AND LIGHTING CONTROLS SEQUENCES  
SCALE: 1/8" = 1'-0"

SEQ-1: LIGHTING CONTROL SEQUENCE: ENCLOSED SPACES

BASE OF CONTROL: OCCUPANCY SENSOR (INTEGRAL LUMINAIRE SENSOR) + LOCAL WALL CONTROL PROVIDING CONTINUOUS DIMMING

LOCAL MANUAL CONTROL

- PROVIDE A WALL MOUNTED CONTROL STATION (WIRELESS RF PER BASIS OF DESIGN) AT THE ROOM ENTRY FOR ON/OFF AND CONTINUOUS DIMMING OF THE ROOM LIGHTING
- DIMMING RANGE SHALL BE FULL OUTPUT DOWN TO 10% POWER, PLUS OFF.

AUTOMATIC SHUTOFF (OCCUPANCY/VACANCY)

- ROOM LIGHTING SHALL BE CONTROLLED BY AN OCCUPANCY SENSOR (INTEGRAL LUMINAIRE SENSOR) PROVIDING AUTOMATIC SHUTOFF.
- UPON VACANCY, LIGHTING SHALL TURN OFF WITHIN 20 MINUTES MAX.

AUTOMATIC-ON BEHAVIOR (PROGRAMMING)

- DEFAULT: MANUAL-ON (VACANCY MODE)

DAYLIGHT RESPONSE (WHERE DAYLIGHT ZONE APPLIES)

- WHERE LUMINAIRES ARE WITHIN AN ICC DAYLIGHT ZONE PER THE PLANS, LIGHTS SHALL CONTINUOUSLY DIM IN RESPONSE TO AVAILABLE DAYLIGHT FROM 100% DOWN TO 15% POWER (MINIMUM), WHILE MAINTAINING USER-SET DIMMING LIMITS.
- LOCAL MANUAL DIMMING REMAINS AVAILABLE AT ALL TIMES.

SEQ-2: LIGHTING CONTROL SEQUENCE: OPEN OFFICE AREAS

BASE OF CONTROL: OCCUPANCY SENSOR CONTROL BY ZONE (USING LUMINAIRE LEVEL SENSORS) + LOCAL MANUAL CONTROL STATIONS. OPEN OFFICE SHALL BE SUBDIVIDED INTO CONTROL ZONES PER THE PLANS.

CONTROL ZONING

- DIVIDE OPEN OFFICE LIGHTING INTO CONTROL ZONES NOT EXCEEDING 800 SF PER ZONE (TYP) PER THE PLANS.
- EACH ZONE SHALL OPERATE INDEPENDENTLY BASED ON OCCUPANCY WITHIN THAT ZONE.

LOCAL MANUAL CONTROL

- PROVIDE A WALL MOUNTED CONTROL STATION AT PRIMARY ENTRY/EGRESS POINTS FOR EACH OPEN OFFICE ZONE FOR MANUAL ON/OFF AND CONTINUOUS DIMMING.
- MANUAL CONTROLS SHALL BE READILY ACCESSIBLE AND ALLOW USERS TO ADJUST LIGHTING LEVEL WITHIN THE ZONE(S) SERVED. REFER TO PLANS FOR LOCATIONS.

AUTOMATIC SHUTOFF (REQUIRED METHOD FOR OPEN PLAN)

- OPEN OFFICE LIGHTING SHALL USE OCCUPANT SENSOR CONTROL AS THE AUTOMATIC SHUTOFF METHOD.
- WHEN A ZONE IS UNOCCUPIED, LIGHTING IN THAT ZONE SHALL TURN OFF WITHIN 20 MINUTES MAX.

OCCUPIED/UNOCCUPIED BEHAVIOR BETWEEN ZONES

- WHEN OCCUPANCY IS DETECTED IN A GIVEN ZONE, LIGHTING IN THE OCCUPIED ZONE SHALL RAISE TO THE SCHEDULED USER SET LEVEL (UP TO FULL).
- LIGHTING IN OTHER UNOCCUPIED ZONES SHALL REMAIN OFF.

AUTO-ON BEHAVIOR (PROGRAMMING)

- DEFAULT: MANUAL-ON (VACANCY)
- FIXTURES WITH INTEGRAL SENSORS SHALL COMMUNICATE WITH THEIR CONTROL GROUP FOR UNIFORM LIGHTING CONTROL BEHAVIOR

DAYLIGHT RESPONSE (PERIMETER ZONES)

- PERIMETER DAYLIGHT ZONES SHALL CONTINUOUSLY DIM WITH DAYLIGHT FROM 100% DOWN TO 15% POWER (MINIMUM).
- DAYLIGHT DIMMING SHALL FUNCTION IN PARALLEL WITH OCCUPANCY CONTROL.

DAYLIGHTING CONTROL SEQUENCE OF OPERATIONS

GENERAL REQUIREMENTS

- LUMINAIRES LOCATED WITHIN DEFINED PRIMARY SIDELIT ZONES AND SECONDARY SIDELIT ZONES SHALL BE CONTROLLED BY AUTOMATIC DAYLIGHT RESPONSIVE CONTROLS (REPROGRAM THE EXISTING FIXTURE LEVEL CONTROLS INSTALLED WITH EXISTING FIXTURES).
- INDEPENDENT CONTROL: THE PRIMARY SIDELIT ZONE AND SECONDARY SIDELIT ZONE SHALL OPERATE ON INDEPENDENT CONTROL CHANNELS. DIMMING LEVELS FOR THE SECONDARY ZONE SHALL ADJUST INDEPENDENTLY AND SHALL NOT BE LINKED TO THE PRIMARY ZONE LEVEL.

PRIMARY SIDELIT ZONE SEQUENCE

- CONTINUOUS DIMMING: WHEN THE PHOTOSENSOR DETECTS NATURAL DAYLIGHT LEVELS EXCEEDING THE DESIGN ILLUMINANCE SETPOINT AT TASK HEIGHT, THE ELECTRIC LIGHTING POWER IN THE PRIMARY ZONE SHALL CONTINUOUSLY DIM DOWN.
- DIMMING RANGE: LIGHTING SHALL BE CAPABLE OF CONTINUOUS DIMMING FROM 100% POWER DOWN TO 15% POWER OR LOWER.

- FULL OFF: IF NATURAL DAYLIGHT LEVELS EXCEED 100% OF THE ILLUMINANCE SETPOINT FOR MORE THAN 10 MINUTES, FIXTURES WITHIN THE PRIMARY ZONE SHALL AUTOMATICALLY TURN OFF.
- RESPONSE TIME: THE SYSTEM SHALL UTILIZE A FADE RATE OR TIME DELAY TO PREVENT RAPID CYCLING OR JARRING CHANGES IN LIGHT LEVELS.

SECONDARY SIDELIT ZONE SEQUENCE

- OPERATION: THE SECONDARY ZONE SHALL OPERATE SIMILARLY TO THE PRIMARY ZONE BUT SHALL ADJUST BASED ON THE LOWER DAYLIGHT CONTRIBUTION AVAILABLE IN THAT SPECIFIC ZONE.
- TRACKING: THE SECONDARY ZONE SHALL MAINTAIN THE TARGET ILLUMINANCE LEVEL INDEPENDENTLY OF THE PRIMARY ZONE DIMMING PERCENTAGE.

INTERACTION WITH OCCUPANCY SENSORS

- VACANCY: IF THE ROOM IS VACANT AND THE OCCUPANCY SENSOR TURNS THE LIGHTS OFF, THE DAYLIGHT CONTROL SHALL BE OVERRIDDEN, AND LIGHTS SHALL REMAIN OFF REGARDLESS OF DAYLIGHT LEVELS.
- ENTRY: UPON ENTRY (MANUAL-ON OR AUTO-ON), THE LIGHTS SHALL RETURN TO THE APPROPRIATE DAYLIGHT-DIMMED LEVEL, NOT 100% BRIGHTNESS, IF SUFFICIENT DAYLIGHT IS PRESENT.

LINEWORK LEGEND

- - - - - EXISTING TO REMAIN
- - - - - EXISTING TO BE DEMOLISHED
- - - - - NEW EQUIPMENT

NOTE:

1. EXISTING ITEMS TO BE REUSED WILL BE INDICATED BY KEYED NOTES.
2. BOLD TEXT INDICATES NEW WORK OR MODIFICATIONS TO EXISTING SYSTEMS. THIN TEXT INDICATES EXISTING CONDITIONS TO REMAIN.

GENERAL NOTES

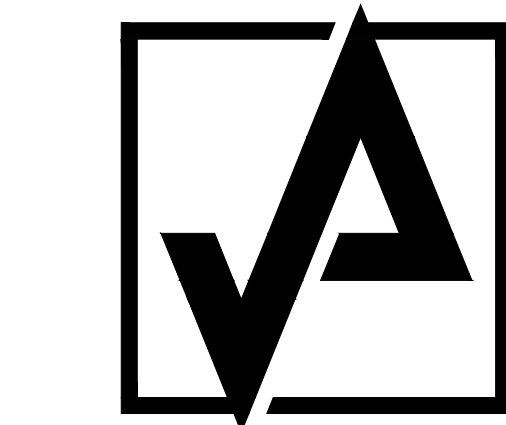
- A. THIS PROJECT INCLUDES REPROGRAMMING EXISTING RELOCATED FIXTURES AND CONTROLS TO MEET THE SEQUENCES AS SHOWN ON THIS PLAN.

LIGHTING CONTROL SCHEDULE			
ROOM NO.	ROOM TYPE	CONTROL SEQUENCE	DAYLIGHT
436C, 436D, 450, 450C, 450D	ENCLOSED SPACE	SEQ-1 (ENCLOSED)	NO
432, 436B, 436E, 439, 450A, 450B	ENCLOSED SPACE	SEQ-1 (ENCLOSED)	YES
436A, 439, 440, 441, 444, 447, SUITE 435	OPEN WORK AREA	SEQ-2 (OPEN OFF)	YES

NOTES:

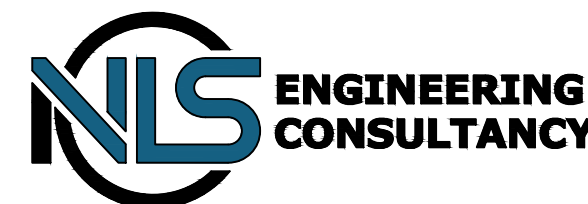
1. SEQ-1: REFER TO "LIGHTING CONTROL SEQUENCE: ENCLOSED SPACES."
2. SEQ-2: REFER TO "LIGHTING CONTROL SEQUENCE: OPEN OFFICE AREAS."
3. DAYLIGHT ZONES: WHERE "YES" IS INDICATED, LUMINAIRES WITHIN THE DEFINED PRIMARY AND/OR SECONDARY SIDELIT ZONES (AS SHOWN ON PLANS) SHALL BE COMMISSIONED FOR AUTOMATIC DAYLIGHT CONTROL.

- B. COMMISSIONING IS REQUIRED FOR ALL LIGHTING CONTROLS IN ACCORDANCE WITH ICC 2024 SECTION C401. REFER TO THE PROJECT SPECIFICATIONS.



AHARONIAN  
& ASSOCIATES, INC.  
ARCHITECTS

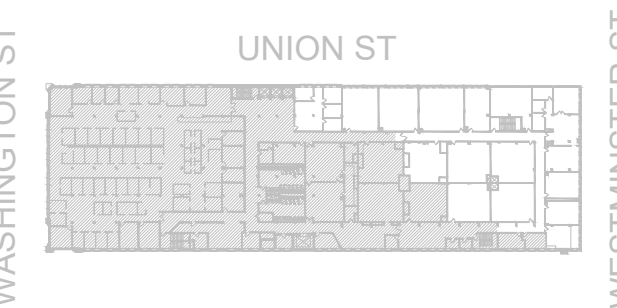
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FOR CONSTRUCTION

REVISIONS:

NUMBER	REMARKS	DATE
1	FOR PERMIT	01-02-2026
2	FOR CONSTRUCTION	01-21-2026
3	OWNER COMMENTS	01-27-2026



PROJECT TITLE:  
**SHEPARD BUILDING**  
4TH FLOOR RENOVATION

80 WASHINGTON STREET  
PROVIDENCE, RI 02903  
PROVIDENCE COUNTY

DRAWING TITLE:  
**ELECTRICAL DAYLIGHTING  
ZONING AND LIGHTING  
CONTROLS SEQUENCES**

DATE: 01-27-2026	PROJ NO: 25019.000
DRAWN BY: MR	CHECKED BY: JWM

DRAWING NUMBER:

E3.2